

**BELLEVUE PLANNING AND ZONING COMMISSION  
PUBLIC MEETING NOTICE and AGENDA  
November 26, 2019 at 2:00 P.M.  
IN BELLEVUE CITY HALL  
115 East Pine, Bellevue, Idaho**

**2:00 CALL TO ORDER**

• **NOTICE AND HEARING COMPLIANCE:**

The notice and agenda were posted in accordance with Idaho Code §67-2343 five days prior to the meeting, at the Bellevue Post Office, on the bulletin board of City Hall and on the City website on November 21, 2019.

**ACTION ITEMS**

- Design Review approval for Jose Baeza for an ADU, located at 361 Ridgeview Drive, Bellevue: **ACTION ITEM**

**ADJOURN**

Please Note: The agenda is subject to revisions. Anyone needing assistance to attend or participate should contact Bellevue City Hall prior to the meeting at 208- 788-2128. Committee packets will be available online at [www.bellevueidaho.gov](http://www.bellevueidaho.gov)



City of Bellevue

115 E Pine Street  
P. O. Box 825 Bellevue, ID 83313  
208-788-2128 Fax 208-788-2092

ADU

Admin

Design Review Application

mit  
Pd. \$200.00  
OK. #128

Applicant Information	
Business / Project Name:	José Baeza 361 Ridge View
Owner / Applicant Name:	José Baeza
Phone #: (208) 720-8570	Fax #: email: 711.baeza@gmail.com
Service Location:	361 Ridge View Dr
Mailing Address:	1140 Echo Hill Dr. Halley, ID 83335
Property Physical Address:	361 Ridge View Dr
Property Legal Description:	
Business Type:	<input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability <input type="checkbox"/> Partnership <input type="checkbox"/> Other
Current Zoning:	<input type="checkbox"/> Business <input type="checkbox"/> Limited Business/Res <input type="checkbox"/> Light Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Transitional

Project Description	
Business / Project Description:	
Existing Sq Ft: 2200	New Sq Ft: 55050 Total Sq. Ft: 2200 Lot Sq Ft: 12,252
Living Quarters Included?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes, please describe:
Parking Requirements:	(See City Code- Zoning Regulations Title 10) no

**Acknowledgement**

\*This application is due no less than 15 days prior to the next regularly scheduled meeting date of the Bellevue Planning & Zoning Commission with all of the required material itemized in Chapter 19, Design Review, and Bellevue City Ordinance 86-03.

**\*Design Review Application Fees:**  
Non-Residential = Base fee \$400.00 + \$25.00 per each 1,000 square feet of gross floor area  
Residential = \$Base fee \$200.00 1-6 unites. 7+ unites an additional \$25.00 per unit will be charged.

\*At the time of filing an application, the applicant shall pay the estimated cost of all transcripts, publication costs, engineer and similar costs to be incurred by the City of Bellevue with regards thereto. If a development, phasing of other agreement is required; the applicant shall reimburse the City of Bellevue for the legal expenses incurred by the City of Bellevue with regards thereto. After the actual costs are determined, the applicant shall pay any additional costs prior to the final hearing on the matter. If the estimated cost paid exceed the actual costs, then the City of Bellevue shall reimburse the applicant the difference.

Applicant's Signature: José Baeza Date: 10/31/19

**Official Use Only**

Date Received:	Check #:	CD Director Signature:
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**CITY OF BELLEVUE**  
**BELLEVUE PLANNING AND ZONING COMMISSION**  
Meeting on November 26, 2019 at 2:00PM

<b>REGARDING AN APPLICATION OF:</b> Jose Baeza for Design Review approval for an ADU at 361 Ridgeview Drive, Bellevue. The legal description of LOT 7 BLK 1, Sunrise Ranch Subdivision.	<b>STAFF REPORT</b> By: Ashley Dyer, Community Development Assistant Date: November 19, 2019
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**REQUESTED ACTION:** Design Review approval for a 537 square foot ADU, located at 361 Ridgeview Drive, Bellevue. The legal property description is LOT 7, BLK 1 Sunrise Ranch Subdivision.

**APPLICABLE REGULATIONS:**

Bellevue City Code, Title 10, §17-5 Design Standards and Criteria

Summary

The applicant is applying for Design Review for a 537 square foot ADU above an existing garage.

**I. GENERAL BACKGROUND**

1. **Notice** of this hearing was:
  - i. Posted on the door of Bellevue City Hall and the Bellevue Post Office November 21, 2019.
2. Any disclosures (i.e. conflicts of interest, site visits or *ex parte* communications)?
3. Attached to this report are the following exhibits:

**Exhibit A—Application Materials**

All application materials were received on November 19, 2019, unless indicated otherwise.

- A-1:** Completed application form
- A-2:** Site Plan and design specifications

**Exhibit B—Department Head Comments**

**Engineering issues:**

The City Engineer has no comments at this time.

**Life/Safety issues:**

The Fire Chief will review the building permit plans when submitted for interior renovation and to confirm compliance with adopted and applicable Fire Codes.

**Water and Sewer issues:**

The applicant shall comply with Bellevue Public Works requirements including but not limited to installation of water services including vault and meter, and sewer services. All assessments shall be per adopted Bellevue Water and Sewer ordinances.

**Building issues:**

Certified engineered plans shall be submitted with a complete building permit and comply with adopted fire codes and building codes.

**Street Department issues:**

Applicant shall comply with all requirements of the Bellevue City Engineer and Bellevue Public Works/Street Department.

**\*NOTE: For purposes of clarification, Staff response is in bold.**

**II. DESIGN REVIEW STANDARDS AND CRITERIA 10-17-5**

**10-17-5 Criteria and Standards** - *The following list of design review criteria shall be met by each applicant seeking design review approval. The Planning and Zoning Commission shall use said criteria to determine whether a project is to be approved or denied. A building which is allowed by right in Zoning Ordinance No. 86-03 may be reduced in bulk, height or other physical dimension by requirement of the Commission only if found necessary to protect the public health, safety and/or welfare. If a development project is to be built in phases, each phase shall be subject to the design standards and criteria described in this Section and each phase independently shall meet said criteria and standards. **The applicant is proposing a 537 square foot ADU above an existing garage.***

*\*Design Review Standards; site planning (1-6) have been removed from the report because they apply to commercial development and not residential.*

**10-17-5-A Site Planning-**

*1) Snow Storage Plan. A snow storage plan, as a component of the site plan, is required. The plan shall comply with the following requirements; Use of sidewalks and required parking areas for snow storage is prohibited. Snow storage within 100 feet of stream banks is prohibited. Use of landscaped areas for snow storage may be allowed under the approved snow storage plan. Snow storage areas shall be incorporated in site design as well as designs that anticipate snow shedding areas. Snow storage areas shall not adversely affect neighboring properties. Building design shall prevent water from dripping or snow from sliding on pedestrian areas, entrances of buildings, garages and adjacent properties. Snow storage areas for parking lots containing (20) twenty spaces or more shall be located on-site in an amount which is equal to at least one-third (1/3) of the hard surfaces proposed with the project. The one-third (1/3) amount may be reduced by the use of a snowmelt system, or for good cause demonstrated. Where snow storage areas cannot be provided on-site because of existing buildings or approved building design, an adequate snow hauling plan shall be submitted for and subject to approval by the Planning and*

*Zoning Commission. The Commission may impose such restrictions on snow removal operations as are necessary to reduce the effects of noise or traffic on surrounding areas. The applicant proposes a snow storage area in the gravel area by the driveway, where he will be storing the snow for the single-family residence as well.*

*3) Visual impact of on-site parking, service, trash and loading areas shall be minimized, whenever possible, by locating these areas to the rear of the building and providing screening with landscaping or fences from adjacent properties and public ways. Applicant proposes to store the trash container in the garage and take it out for collection.*

*4) All utilities shall be installed underground in accordance with the City standards and in a manner and location approved by the City engineer. Utilities are already in place underground.*

*5) Building and parking areas shall be designed to provide proper ingress and egress; safe, adequate and efficient pedestrian and vehicular traffic circulation; and shall provide for the efficient and safe arrangement of on-site parking, building location, and circulation. The existing driveway for the single-family home is large enough to store the required 2 cars for the ADU as well.*

*6) Adequate unobstructed access for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project shall be provided. It's located in a developed residential neighborhood, unobstructed access is provided from Ridgeview Drive, as well as Parkside Drive.*

**10-17-5-C Landscaping – Parking – Lighting** Exterior light fixtures and signs shall be non-glaring in design and installation so as not to adversely affect adjacent properties and public ways. The proposed exterior lighting complies with the city code.

*1) The design of fences, walls and retaining walls shall harmonize with the site and buildings in scale as well as in materials. No new fence is proposed at this time for the ADU.*

*2) Site conditions, drought tolerance and local hardiness shall be considered to select appropriate plant species, including grasses for lawn areas. Applicant proposes to keep all existing landscaping and is not planning on adding anything for the ADU.*

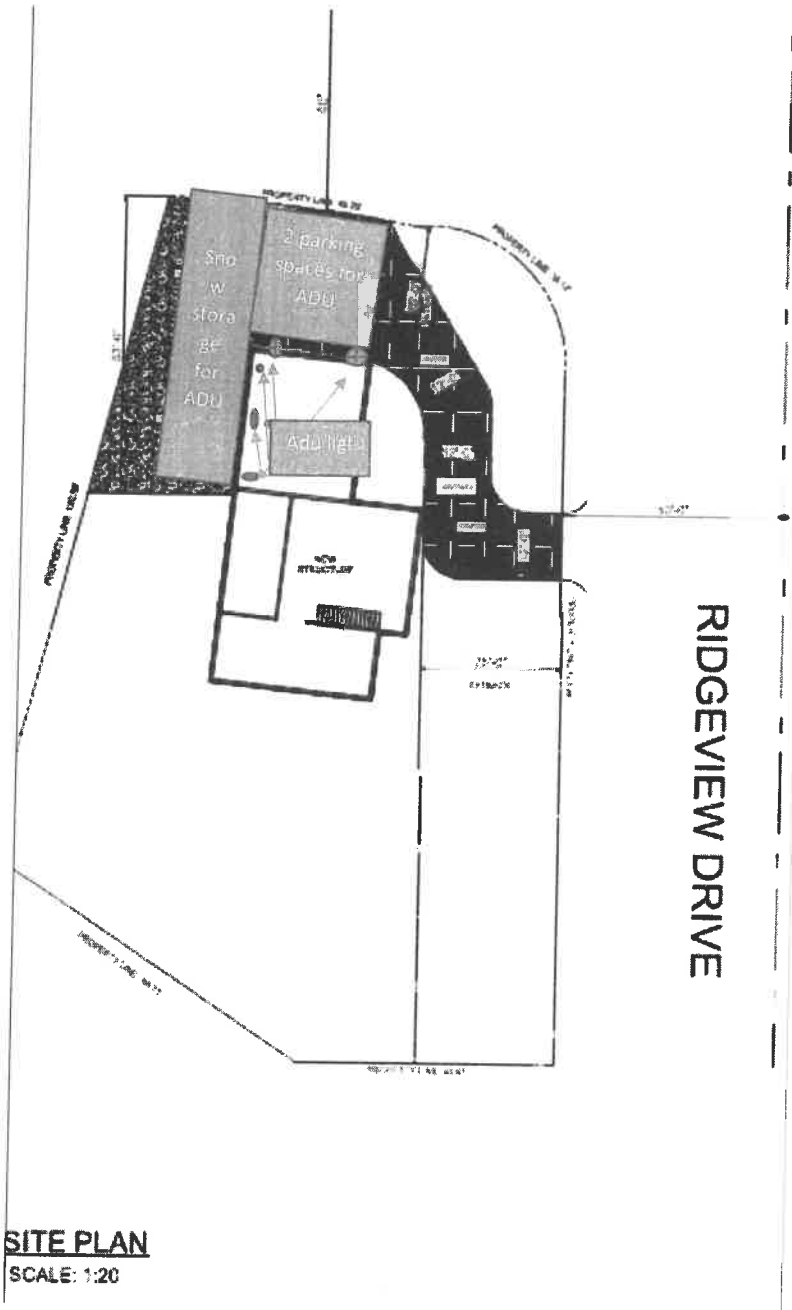
*3) Installation of adequate drip or other low consumption irrigation systems shall be required. Landscaping shall be properly irrigated and maintained, and landscaping, or any portion thereof, shall be replaced when it dies or is otherwise destroyed. An automatic sprinkler system is planned for the front lawn of the single family residence.*

*4) Adequate drainage shall be provided on-site. The applicant has adequate drainage on the property.*

#### IV. DECISION AND POSSIBLE CONDITIONS:

► **Motion:** I move to approve, approve with conditions (or) deny this design review application for **Jose Baeza** located at 361 Ridgeview Drive, finding the application complies (or) does not comply with the applicable criteria set forth under Chapter 19, Design Review Standards and Criteria, subject to the following conditions:

1. All Fire Department, Building Department and City requirements per the Bellevue City Code shall be met.
2. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. At this time, this infrastructure includes, but will not be limited to the following:
  - a. Verify Utility locations
3. Applicable water and sewer fees shall be assessed per adopted ordinances/resolutions.



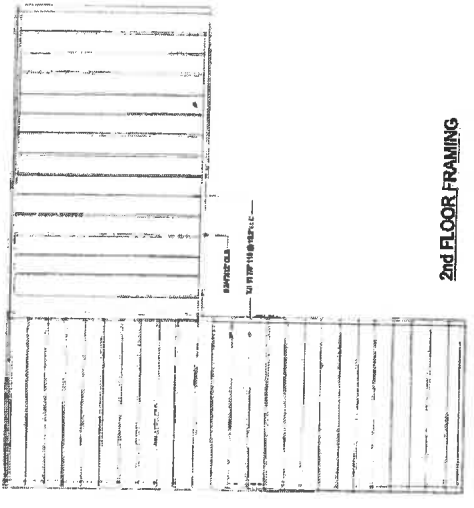
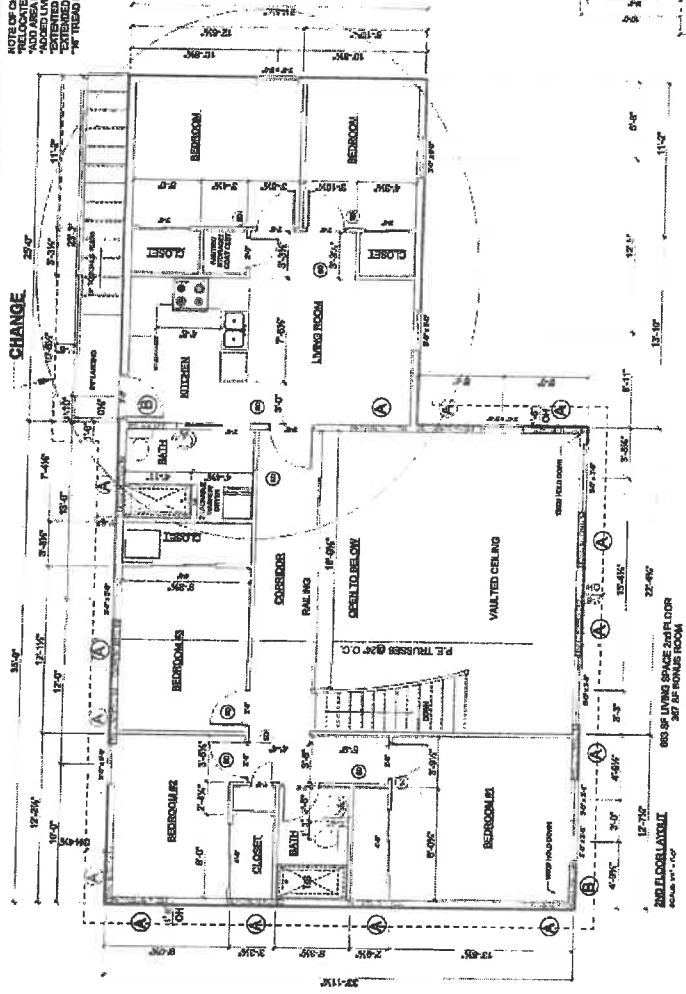
**SITE PLAN**  
SCALE: 1:20

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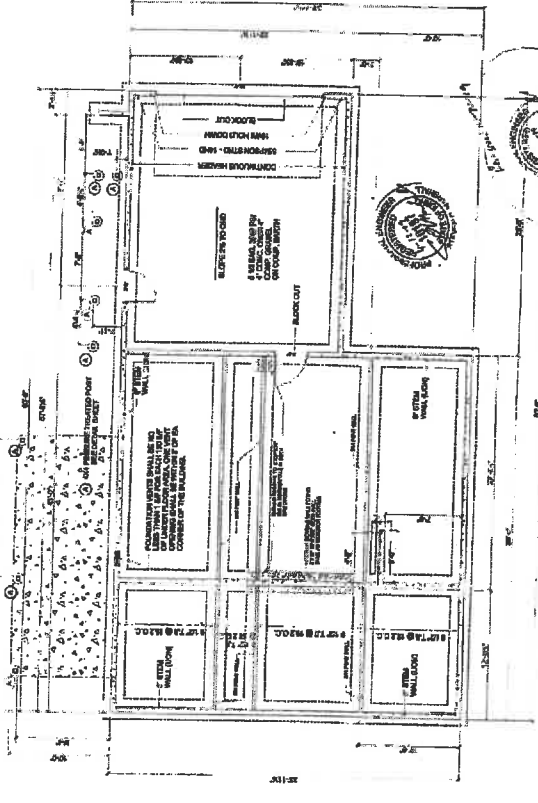
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**NOTE OF CHANGES:**  
RELOCATED STAIRS AND EXTERIOR DOOR  
ADD AREA FOR W.D.  
TO LOCUS AREA  
EXTENDED BACK ROOM  
TO COVER EXTERIOR STAIRS  
TO WASH ROOM



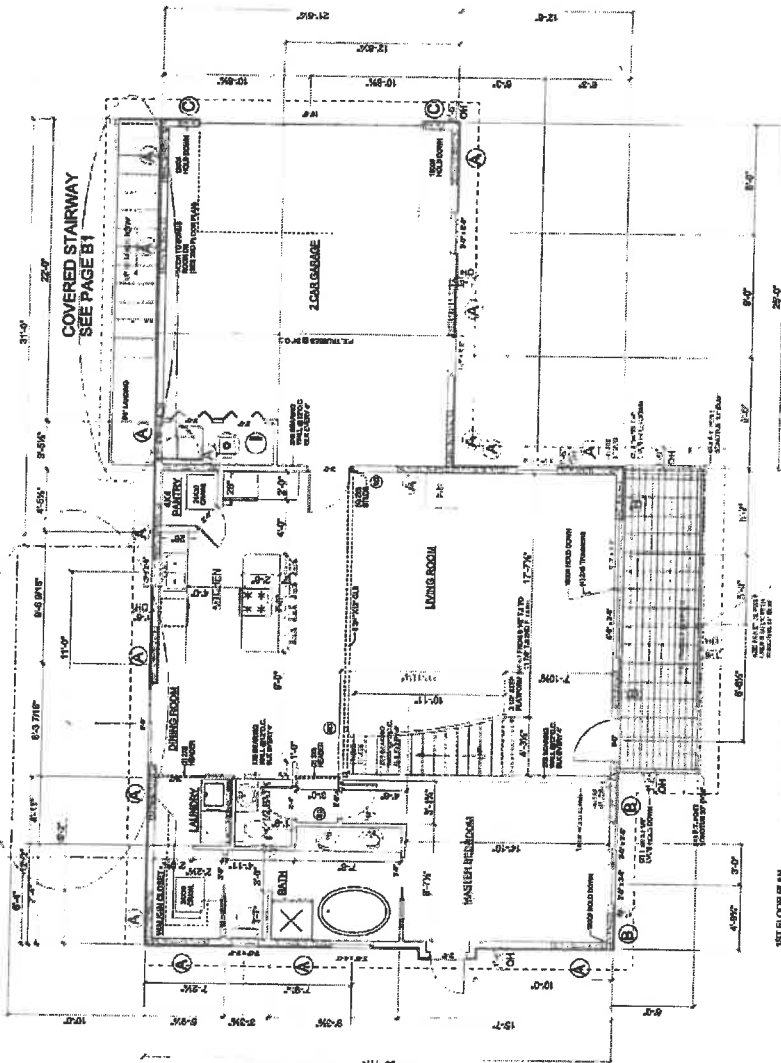
**2nd FLOOR FRAMING**



**2nd FLOOR FRAMING PLAN**



228"X10" COVERED PORCH  
SEE PAGE B1



3rd FLOOR PLAN  
SCALE 1/4" = 1'-0"

NOTES

- 1. IRC 2012
- 2. TYPE SB CONSTRUCTION
- 3. BUILDING TO BE CONSTRUCTED PER DISTANCES FROM
- 4. NO EXTERIOR FIREWALL REQUIRED IF FIRE SEPARATION
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**HEADERS:**

1. GARAGE CHD HEADER TO BE A DOUBLE LAYER OF 1.34X10.78" UNLAKED AS OTHER HEADERS
2. WINDOW AND DOOR HEADERS TO BE A DOUBLE LAYER OF 1.34X10.78" UNLAKED AS OTHER HEADERS
3. INTERIORS HEADERS TO BE A DOUBLE LAYER OF 1.34X10.78" UNLAKED AS OTHER HEADERS
4. HEADERS TO BE 2" INTERVALS ALONG THE LENGTH OF THE HEADERS (BOTH SIDES)
5. TRIMMERS TO BE 2" INTERVALS ALONG THE LENGTH OF THE HEADERS (BOTH SIDES)
6. ALLOW FOR DOUBLE TRIMMERS

**GENERAL N/F/C:**

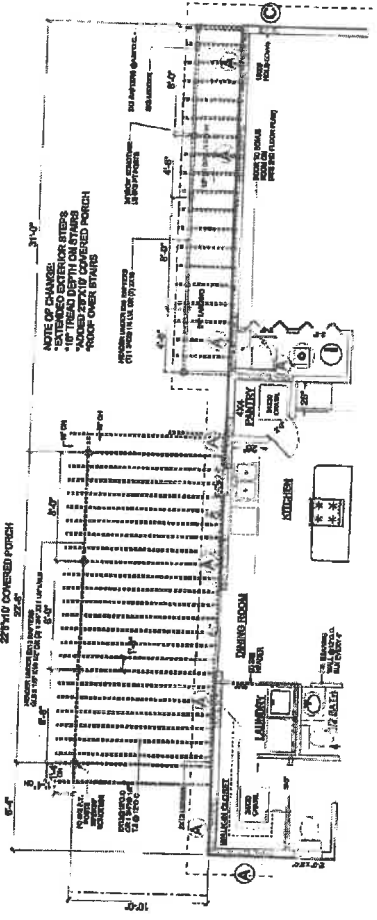
1. EGRESS WINDOWS, WHERE APPLICABLE, SHALL COMPLY WITH ESCAPE OPENING AND SILL HEIGHT PER IRC R310.1
2. ALL STAIRWAYS TO COMPLY WITH IRC R311.7
3. ATTIC ACCESS TO BE A MIN. OF 30"X30" AND COMPLY WITH IRC R309.4
4. SPLITTING WALLS SHALL BE AS APPLICABLE TO THE TYPE OF BRICK WALL PANELS TO BE U.S.G.C. OR PERMITTED AND 2" O.C. IN THE FIELD JOINTS
5. EGRESS WINDOWS SHALL COMPLY WITH IRC R310.1
6. EGRESS WINDOWS SHALL COMPLY WITH THE ESCAPE OPENING AND SILL HEIGHT PER IRC R310.1

**FRAMING NOTES:**

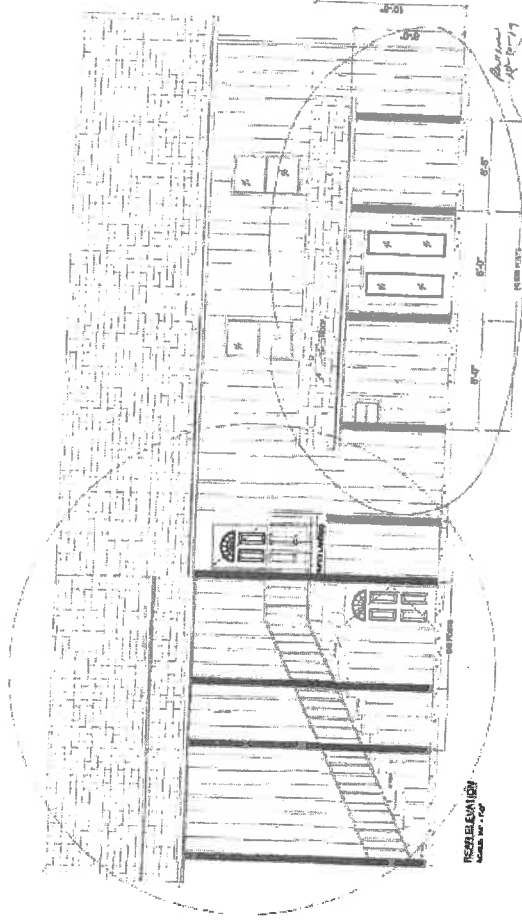
1. WALL HEIGHT VARIES - SEE FLOOR PLAN AND ELEVATION VIEWS
2. EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE 2X10 WOOD VERTICALLY SPACED 16" O.C. AND BLOTTED EVERY 4' O.C.
3. INTERIOR WALLS TO BE 2X4" WOOD STUD FRAMING UNLESS SPECIFIED OTHERWISE
4. ROOMS WITH APPLICABLE FLOOR FRAMING TO BE THE BOTTOM CHORD OF THE BOND-BEAT TRUSS SYSTEM USE TRUSS SPACING OF 24" ON BOND ROOM SUB-FLOOR TO BE 5/8" TRUSS OBB SHEETING.

**WALL LIFT JACKS:**

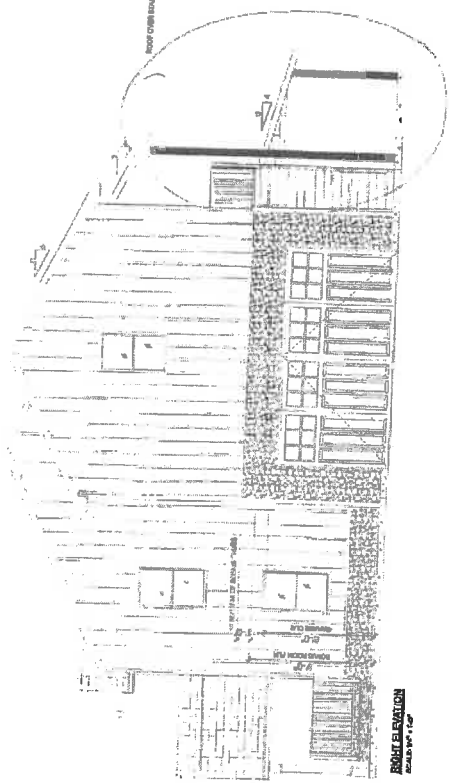
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1ST FLOOR CHANGES  
SCALE: 1/8" = 1'-0"

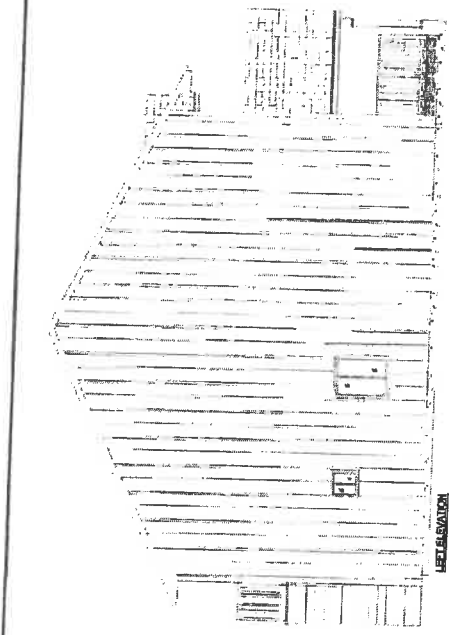


1140 ECHO HILL DR  
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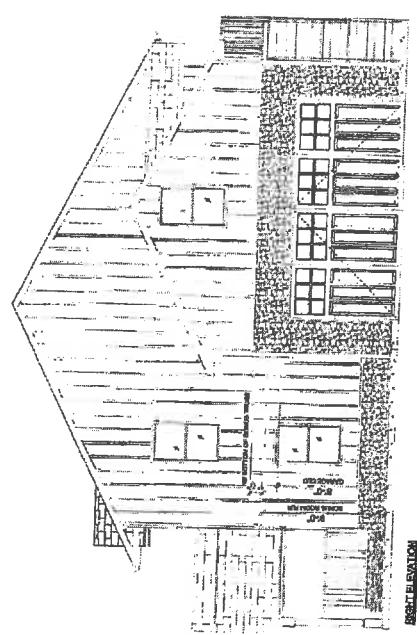


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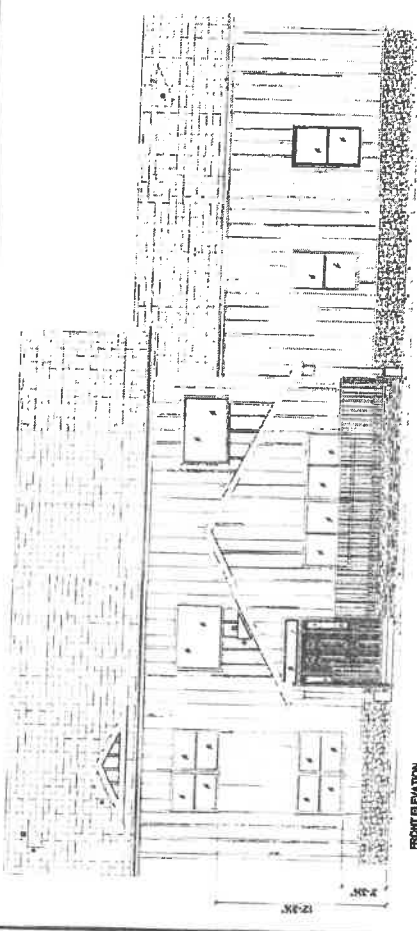




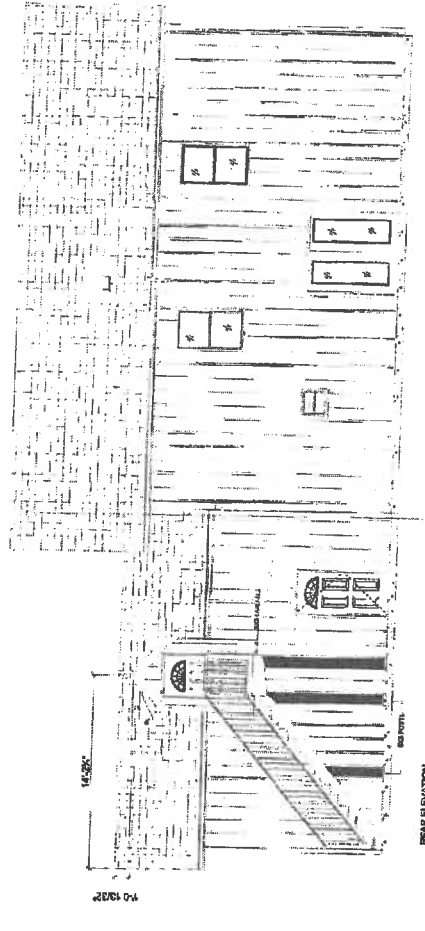
EAST ELEVATION  
SCALE 1/4" = 1'-0"



WEST ELEVATION  
SCALE 1/4" = 1'-0"



FRONT ELEVATION  
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REAR ELEVATION  
SCALE 1/4" = 1'-0"

THE CONTRACTOR SHALL PROVIDE SWAY BRACING FOR TRUSSES @ ENDS AND 80% INTERVALS MIN ALONG THE RIDGE LINE. TO COMPLY WITH BRIDGING MANUFACTURER'S SHEET PROVIDED BY TRUSS MANUFACTURER. COORDINATE EXACT LOCATION OF BRACING WITH AVAILABLE HEADROOM IN ATTIC ABOVE HATCH. PROVIDE MIN 30" HEADROOM ABOVE HATCH.

O.C. FOR PERIMETER OF DIAPHRAGM AND COMMON WALLS @ 8" O.C. FOR ALL SUPPORTED EDGES OF PLYWOOD SHEETS. NAIL PLAYS TO BE INTERMEDIATE FRAMING MEMBER WITH 100 COMMON WALLS @ 12" O.C. @ 24" O.C. WHEREAS SHALL BE PRE-MANUFACTURED ROOF TRUSSES STAMPED STRUCTURAL CALCULATED BY A LICENSED STRUCTURAL ENGINEER IN THE STATE OF IDAHO. ALL TRUSSES SHALL BE PROVIDED WITH METAL PLATE BRACING PER MANUFACTURER'S REQUIREMENTS FOR ALL PRE-ANALYZED TRUSSES WITH MANUFACTURE PRIOR TO INSTALLATION. BRACING REQUIRED FOR CONSTRUCTION STABILITY BY OTHERS.

**ROOF NOTES:**  
 FINAL ROOF/TRUSS PLAN TO BE DETERMINED BY TRUSS ENGINEER. TRUSSES TO BE AFFIXED TO WALL PLATE MEETING MANUFACTURER'S SPECIFICATIONS. TYPICALLY SIMPSON H-2. TRUSSES TO BE AFFIXED WITH 7/16" OSB AND GAPPED PER MANUFACTURER'S SPECIFICATIONS. FINISHED ROOF TO BE 30 YEAR ASPHALT SHINGLES Laid OVER 1/2" FELT ROOFING PAPER OR OTHER PRODUCT ALLOWED BY CODE. VENTILATION TO COMPLY WITH IRC R803 AND EQUAL. EXPOSURE SHALL BE 7/16" OSB SHEATHING STRUCTURAL 1, PS1-83. SHEETS SHALL BE FULLY BLOCKED WITH ALL EDGES Nailed @ 8" O.C. WITH 100 COMMON WALLS (U.N.D.). PLYWOOD NAILING FOR DIAPHRAGM SHALL BE 8D COMMON NAILS @ 8"

