

**BELLEVUE PLANNING AND ZONING COMMISSION  
MEETING NOTICE and AGENDA  
TUESDAY SEPTEMBER 4<sup>TH</sup>, 2018 at 6:00 P.M.**

**6:00            CALL TO ORDER**

- **NOTICE AND HEARING COMPLIANCE:**
- Posting and Hearing Notice are compliant with notice procedures per Idaho Code 67-6509

The notice and agenda were posted in the Bellevue Post Office and on the bulletin board of City Hall on August 20, 2018.

**OLD BUSINESS**

- Approval of Minutes from August 20, 2018

**NEW BUSINESS**

- Plan Modification, Bigwood Plumbing located at 109 Clover St., Southern Belle Business Park
- Design Review, LCH & RLH LLC, located at 301 S. Main St, Bellevue Townsite.
- Design Review, Simpson & Jameson, located at 121 N. 5<sup>th</sup> St, Bellevue Townsite.
- Availability for meeting of September 17, 2018.

**ADJOURN**

**CITY OF BELLEVUE**  
Public Meeting on September 4<sup>th</sup>, 2018 at 6:00 p.m.

<b>REGARDING AN APPLICATION OF:</b> Ron and Linda Hatzenbuehler LCH & RLH LLC. for Design Review approval of an interior remodel at 301 S. Main Street, Bellevue. The legal description of Lot6, Block 5, Bellevue Townsite	<b>STAFF REPORT</b> By: Ashley Dyer, Associate Planner Date: August 6, 2018
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**REQUESTED ACTION:** LCH & RLH LLC has applied for the Design Review approval for a 1,302 square foot interior remodel of an existing building located 301 S. Main Street.

**APPLICABLE SUBDIVISION REGULATIONS:**

Chapter 19 – 19.2(c) and 19.5, Design Standards and Criteria

**Summary**

LCH & RLH LLC requests to remodel the interior of an existing building located at 301 S. Main Street in Bellevue Townsite. Section 19.2 of the Bellevue Zoning Ordinance requires construction or repairs to receive Design Review approval.

**\*NOTE: for purposes of clarification, Staff response is in bold.**

**I. GENERAL BACKGROUND**

1. **Notice** of this hearing was:
  - i. Posted on the door of Bellevue City Hall and the Bellevue Post Office August 20, 2018.
2. Any disclosures (i.e. conflicts of interest, site visits or *ex parte* communications)?
3. Attached to this report are the following exhibits:

**Exhibit A—Application Materials**

All application materials were received on August 3, 2018, unless indicated otherwise.

- A-1:** Completed application form
- A-2:** Site Plan and design specifications

**Exhibit B—Department Head Comments**

**Engineering issues:**

The City Engineer has no comments at this time.

**Life/Safety issues:**

The Fire Chief will review the building permit plans when submitted for interior renovation and to confirm compliance with adopted and applicable Fire Codes.

**Water and Sewer issues:**

The applicant shall comply with Bellevue Public Works requirements including but not limited to installation of water services including vault and meter, and sewer services. All assessments shall be per adopted Bellevue Water and Sewer ordinances.

**Building issues:**

Certified engineered plans shall be submitted with a complete building permit and comply with adopted fire codes and building codes.

**Street Department issues:**

Applicant shall comply with all requirements of the Bellevue City Engineer and Bellevue Public Works/Street Department.

**Exhibit C— Public Comments**

C-1:

**\*NOTE: For purposes of clarification, Staff response is in bold.**

**II. DESIGN REVIEW STANDARDS AND CRITERIA §19.5**

**19.51 Criteria and Standards** – *The following list of design review criteria shall be met by each applicant seeking design review approval. The Planning and Zoning Commission shall use said criteria to determine whether a project is to be approved or denied. A building which is allowed by right in Zoning Ordinance No. 86-03 may be reduced in bulk, height or other physical dimension by requirement of the Commission only if found necessary to protect the public health, safety and/or welfare. If a development project is to be built in phases, each phase shall be subject to the design standards and criteria described in this Section and each phase independently shall meet said criteria and standards. **The applicant proposes to remodel the interior of the existing building located at 301 S. Main Street, Bellevue.***

**19.52 Site Planning**

1) *Buildings shall be situated in a manner that preserves existing land forms, trees and other significant vegetation and shall not interrupt waterways or change other natural drainage patterns in a manner which adversely affects adjacent property. Removal of existing trees of greater than 6" caliper is subject to review. **New Aspen trees and a drip irrigation system are proposed at the rear of the parking area.***

2) *Buildings shall be cited so that their form does not break prominent natural ridge lines. **N/A, the property is flat.***

3) Buildings and parking areas shall be clustered to provide for more usable open space. All accesses from alleys shall require improvements installed by the applicant/owner when applicable including but not limited to an asphalt surface or compacted gravel surface as determined by the Bellevue Public Works Department. Applicant/owner shall be responsible for relocation of applicable city services/utilities, repair of any damaged city services, snow plowing and snow removal owners. **The applicant proposes to use the existing concrete pad for parking.**

4) The alignment of roads and driveways shall follow the contours of the site, and cuts and fills shall be minimized. **N/A**

5) Retaining walls shall be discouraged and such walls over three (3) feet high shall be stepped to form a number of benches to be landscaped. **No retaining walls are proposed.**

6) Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy-conserving lighting of low intensity. **Applicant proposes to use existing exterior lights on the structure.**

7) Snow Storage Plan. A snow storage plan, as a component of the site plan, is required. The plan shall comply with the following requirements; Use of sidewalks and required parking areas for snow storage is prohibited. Snow storage within 100 feet of stream banks is prohibited. Use of landscaped areas for snow storage may be allowed under the approved snow storage plan. Snow storage areas shall be incorporated in site design as well as designs that anticipate snow shedding areas. Snow storage areas shall not adversely affect neighboring properties. Building design shall prevent water from dripping or snow from sliding on pedestrian areas, entrances of buildings, garages and adjacent properties. Snow storage areas for parking lots containing (20) twenty spaces or more shall be located on-site in an amount which is equal to at least one-third (1/3) of the hard surfaces proposed with the project. The one-third (1/3) amount may be reduced by the use of a snowmelt system, or for good cause demonstrated. Where snow storage areas cannot be provided on-site because of existing buildings or approved building design, an adequate snow hauling plan shall be submitted for and subject to approval by the Planning and Zoning Commission. The Commission may impose such restrictions on snow removal operations as are necessary to reduce the effects of noise or traffic on surrounding areas. **Applicant has proposed a snow storage area behind the concrete parking pad.**

8) Visual impact of on-site parking, service, trash and loading areas shall be minimized, whenever possible, by locating these areas to the rear of the building, and providing screening with landscaping or fences from adjacent properties and public ways. **The proposed parking is the existing concrete pad to the south of the building. The applicant proposes an ADA parking space on the North side of the building that will have a ramp built leading into the building. This needs approval from IDT. The dumpster is located in between the building and parking pad and is screened by the existing fence.**

9) *Accessory Dwelling Units, Multi-Family and Townhouses. Adequate enclosed on-site storage for trash shall be provided for each unit. N/A*

10) *All utilities shall be installed underground in accordance with the City standards and in a manner and location approved by the City engineer. Utilities are located in the back of the building and are underground.*

11) *Building and parking areas shall be designed to provide proper ingress and egress; safe, adequate and efficient pedestrian and vehicular traffic circulation; and shall provide for the efficient and safe arrangement of on-site parking, building location, and circulation. The main parking is located in the existing concrete parking pad located to the right of the building. Adequate ingress and egress will occur from Main Street.*

12) *Multi-family and Townhouses shall provide a minimum of two (2) on-site parking spaces shall be provided for each unit. Accessory Dwelling Unit parking requirements shall be one (1) parking space for a one bedroom ADU and two (2) parking spaces for ADU's with two to three bedrooms. N/A*

13) *Adequate unobstructed access for emergency vehicles, snow plows, garbage trucks and similar service vehicles to all necessary locations within the proposed project shall be provided. Unobstructed access is provided from Main Street as well as the alley.*

#### **19.53 Architecture**

**A. MULTI-FAMILY AND TOWNHOUSES.** *Multi-family and townhouses shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and location of the site. Multi-family and Townhouse design, style, scale, and esthetics shall blend with its neighborhood. There shall be no repetitive side by side development of buildings. The City is looking for individual buildings by varying types and styles to make for a pleasant streetscape experience. N/A*

#### **19.54 Landscaping - Parking - Lighting**

1) *Exterior light fixtures and signs shall be non-glaring in design and installation so as not to adversely affect adjacent properties and public ways. Applicant has proposed to use the existing exterior lights on the building.*

2) *The design of fences, walls and retaining walls shall harmonize with the site and buildings in scale as well as in materials. No new fences are proposed at this time; the existing fence will remain in place.*

3) *Preservation of significant natural features such as water, view, topography, and vegetation shall be incorporated in the landscape plan. The existing vegetation will not be impacted with this development. The applicant proposes to leave the existing Maple trees on the North Side of the building, and to add new Aspen trees to the South side.*

4) *Site conditions, drought tolerance and local hardiness shall be considered to select appropriate plant species, including grasses for lawn areas. The applicant proposes to leave the existing Maple trees on the North Side of the building, and to add new Aspen trees to the South side.*

5) *Landscaping shall provide a substantial buffer between incompatible land uses and shall be used to screen from view and to mitigate visual impact of parking areas, loading areas, and garbage containers from adjacent properties and public ways. The existing and new proposed trees create a buffer as well as the existing fence.*

6) *Installation of adequate drip or other low consumption irrigation systems shall be required. Landscaping shall be properly irrigated and maintained, and landscaping, or any portion thereof, shall be replaced when it dies or is otherwise destroyed. The applicant proposes a new drip irrigation system in front.*

7) *Adequate drainage shall be provided on-site. The existing on-site drainage does not change with this development.*

8) *A minimum of 10 percent of the parking area of parking lots with 20 spaces or more shall be landscaped with islands, dividers, or a combination of the two. Parking lots with 20 spaces or more will have a minimum of 50% of the required landscaped area installed adjacent to Main Street HWY 75 unless otherwise approved by the Commission due to extensive curb cuts and vision safety concerns. The existing concrete parking pad is proposed to be used.*

9) *All public right-of-ways adjacent to subject property including alleys shall be improved with but not limited to asphalt / concrete / compacted gravel, applicable curbing, gutter, drainage, ADA standards, lighting, sidewalks and striping as recommended by the Public Works Director.*  
**N/A**

**19.55 Curbs, Gutters, Sidewalks and Street Tree Requirements.** *Within the Business (B), Limited Business/Residential (LB/R), Light Industrial Business (LIB) and the Light Industrial (LI) Zoning Districts, curbs, gutters, sidewalks and street trees are required and shall be installed along the street frontage of each lot or parcel of real property upon which a new building is constructed or a major addition (defined as requiring a building permit and having a cost of construction exceeding \$50,000.00). Such improvements shall be constructed in accordance with the applicable construction standard and ordinances of Bellevue. N/A*

#### IV. DECISION AND POSSIBLE CONDITIONS:

► **Motion:** I move to approve, approve with conditions (or) deny this design review application by **LCH & RLH LLC**, finding the application complies (or) does not comply with the applicable criteria set forth under Chapter 19, Design Review Standards and Criteria, subject to the following conditions:

1. All Fire Department, Building Department and City requirements per Zoning Ordinance 86-03 shall be met.
2. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. At this time, this infrastructure includes, but will not be limited to the following:
3. Applicable water and sewer fees shall be assessed per adopted ordinances/resolutions.
4. The ADA parking space needs to be verified by IDT.

Design Review Explanations to Accompany Site Plan for 301/5 S. Main St., Bellevue. ID

LCH and RLH LLC  
(c/o Ron Hatzenbuehler, 306 S. 7<sup>th</sup> Avenue, Pocatello, ID 83201  
[hatzrona@isu.edu](mailto:hatzrona@isu.edu), (208) 760-7083

**19.4 REQUIRED PROCEDURES**

**19.41 Materials and Information**

- 1) Site map
  - a) Exterior boundary lines (scale: 1/8" = 1')
  - b) Location of existing structures (keep one)
  - c) Location of on-site parking spaces (ADA parking on Pine St. with handicap accessible entry to rear of house)
  - d) Location and dimensions of snow storage areas
  - e) Location of dumpster
  - f) Zoning district = commercial
  - g) Location of vehicular circulation patterns
  - h) Property lacks contours
  - i) Location of adjacent street rights-of-way
  - j) Indication of direction of snow slide from roof
  - k) Location of existing structures on adjacent properties
  - l) DNA
  - m) Reduced vicinity plans
  
- 2) Preliminary Schematic Drawings
  - a) Floor plan(s)
  - b) DNA (existing structure—no modifications except exterior, below)
  - c) Type and color of exterior materials—remove existing siding and replace with shingle effect siding (please see photo) with white trim
  - d) Drip irrigation, low consumption in front yard and flower beds
  - e) DNA
  - f) Existing street trees remain
  
- 3) Landscape Plan
  - a) Aspen trees with drip irrigation around the end of the existing garage pad
  - b) DNA
  - c) Existing fences—along Pine St. and blocking dumpster at the front of the house
  - d) Yes
  - e) DNA
  - f) Existing trees (as of 7/30/18) remain (additional pruning as needed)



ALLEY -

Vertical water purification

SHED  
(Keep)

Master  
Dog Pen  
(Remain)

SHED  
(Remain)

ADD WATER (Remain)

(Any indication)  
New holes made

SHED WATER MAIN

Gravy Pad  
(Gas Station)

PANTRY STACKE

PANTRY STACKE

ADJUTANT  
REMAIN  
(Remain)

HOUSE  
(3rd floor)

DUMPER

EXISTING  
PUMP

(Grass)

(Grass)

Grass  
(3)

Sidewalk

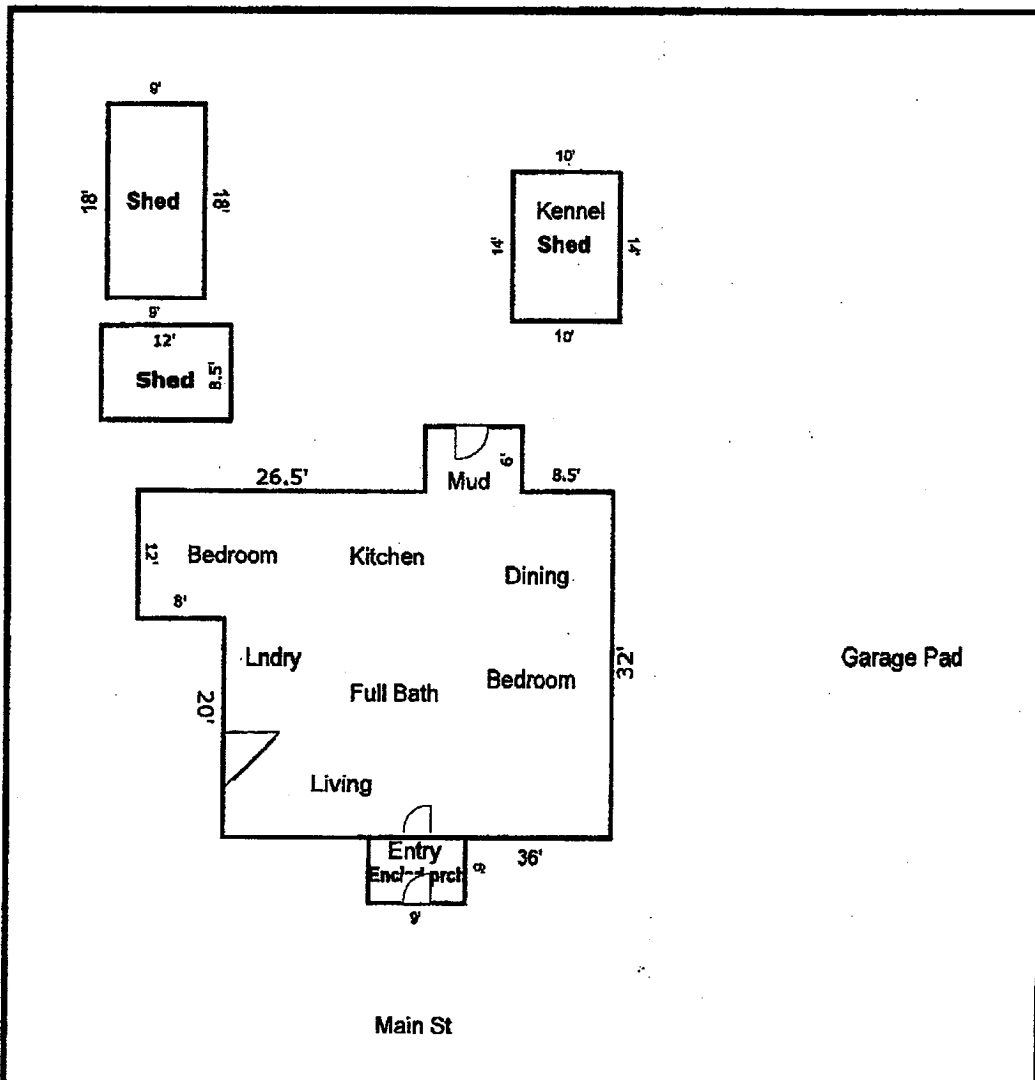
SHED / REMAIN

Scale: 1/8" = 1'

30/5 Sheds (Remain)  
LCHAKEN LEE  
(Remain)  
30/5 Sheds (Remain)  
30/5 Sheds (Remain)

### Building Sketch

Borrower	Linda C & Ronald L Hetzenbuehler		
Property Address	301 S & 305 S Main St		
City	Bellevue	County	Blaine
State	JD	Zip Code	83313
Lender/Client	D.L. Evans		



TOTAL Sketch by a la mode, Inc.

Area Calculations Summary		
Living Area	Area	Calculation Details
First Floor	1302 Sq ft	$9 \times 6 = 54$ $32 \times 36 = 1152$ $8 \times 12 = 96$
<b>Total Living Area (Rounded):</b>	<b>1302 Sq ft</b>	
<b>Non-Living Area:</b>		
Enclsd prch	54 Sq ft	$9 \times 6 = 54$
Shed	162 Sq ft	$18 \times 9 = 162$
Shed	102 Sq ft	$8.5 \times 12 = 102$
Shed	140 Sq ft	$14 \times 10 = 140$



# Untitled Map

Write a description for your map.

## Legend

- 📍 301 S Main St
- 🏠 Main St & Pine St

301 S Main St

Google Earth



3/4"

**CITY OF BELLEVUE**  
Public Meeting on September 4<sup>th</sup>, 2018 at 6:00 p.m.

<b>REGARDING AN APPLICATION OF:</b> Sam Simpson & Brandi Jameson for Design Review approval of a new garage and ADU at 121 N. 5th Street, Bellevue. The legal description of LOTS 7, N ½ of 8 BLK 51 Bellevue Townsite	<b>STAFF REPORT</b> By: Ashley Dyer, Community Development Assistant Date: August 21, 2018
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**REQUESTED ACTION:** Sam Simpson and Brandi Jameson have applied for the Design Review approval for a new garage and an ADU above it.

**APPLICABLE SUBDIVISION REGULATIONS:**

Chapter 19 – 19.2(c) and 19.5, Design Standards and Criteria

Summary

Simpson and Jameson request to construct a new 698 square feet garage with a 648 square feet ADU above it at 121 N. 5<sup>th</sup> Street in Bellevue. Section 19.2 of the Bellevue Zoning Ordinance requires ADU's to receive Design Review approval.

**I. GENERAL BACKGROUND**

1. **Notice** of this hearing was:
  - i. Posted on the door of Bellevue City Hall and the Bellevue Post Office August 20, 2018.
2. Any disclosures (i.e. conflicts of interest, site visits or *ex parte* communications)?
3. Attached to this report are the following exhibits:

**Exhibit A—Application Materials**

All application materials were received on August 20, 2018, unless indicated otherwise.

- A-1:** Completed application form
- A-2:** Site Plan and design specifications

**Exhibit B—Department Head Comments**

**Engineering issues:**

The City Engineer has no comments at this time.

**Life/Safety issues:**

The Fire Chief will review the building permit plans when submitted for interior renovation and to confirm compliance with adopted and applicable Fire Codes.

**Water and Sewer issues:**

The applicant shall comply with Bellevue Public Works requirements including but not limited to installation of water services including vault and meter, and sewer services. All

assessments shall be per adopted Bellevue Water and Sewer ordinances.

**Building issues:**

Certified engineered plans shall be submitted with a complete building permit and comply with adopted fire codes and building codes.

**Street Department issues:**

Applicant shall comply with all requirements of the Bellevue City Engineer and Bellevue Public Works/Street Department.

**Exhibit C— Public Comments**

**C-1:**

**\*NOTE: For purposes of clarification, Staff response is in bold.**

**II. DESIGN REVIEW STANDARDS AND CRITERIA §19.5**

***19.51 Criteria and Standards*** – *The following list of design review criteria shall be met by each applicant seeking design review approval. The Planning and Zoning Commission shall use said criteria to determine whether a project is to be approved or denied. A building which is allowed by right in Zoning Ordinance No. 86-03 may be reduced in bulk, height or other physical dimension by requirement of the Commission only if found necessary to protect the public health, safety and/or welfare. If a development project is to be built in phases, each phase shall be subject to the design standards and criteria described in this Section and each phase independently shall meet said criteria and standards. The applicant is proposing to construct a new 698 square feet garage with a 648 square feet ADU above it at 121 N. 5<sup>th</sup> Street in Bellevue*

***19.52 Site Planning***

*1) Buildings shall be situated in a manner that preserves existing land forms, trees and other significant vegetation and shall not interrupt waterways or change other natural drainage patterns in a manner which adversely affects adjacent property. Removal of existing trees of greater than 6" caliper is subject to review. **Some of the existing trees are proposed to remain in place, while others will be salvaged and replaced once the project is complete.***

*2) Buildings shall be cited so that their form does not break prominent natural ridge lines. **N/A***

*3) Buildings and parking areas shall be clustered to provide for more usable open space. All accesses from alleys shall require improvements installed by the applicant/owner when applicable including but not limited to an asphalt surface or compacted gravel surface as determined by the Bellevue Public Works Department. Applicant/owner shall be responsible for relocation of applicable city services/utilities, repair of any damaged city services, snow plowing and snow removal owners. **The applicant proposes a new driveway for the ADU and 2 car garage located off of Cedar Street.***

4) *The alignment of roads and driveways shall follow the contours of the site, and cuts and fills shall be minimized. N/A*

5) *Retaining walls shall be discouraged and such walls over three (3) feet high shall be stepped to form a number of benches to be landscaped. N/A*

6) *Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy-conserving lighting of low intensity. Applicant provided cut sheets for proposed lighting. Any exterior lighting that exists on the building that does not meet the Dark Sky ordinance shall be retrofitted out so the lighting conforms to the code.*

7) *Snow Storage Plan. A snow storage plan, as a component of the site plan, is required. The plan shall comply with the following requirements; Use of sidewalks and required parking areas for snow storage is prohibited. Snow storage within 100 feet of stream banks is prohibited. Use of landscaped areas for snow storage may be allowed under the approved snow storage plan. Snow storage areas shall be incorporated in site design as well as designs that anticipate snow shedding areas. Snow storage areas shall not adversely affect neighboring properties. Building design shall prevent water from dripping or snow from sliding on pedestrian areas, entrances of buildings, garages and adjacent properties. Snow storage areas for parking lots containing (20) twenty spaces or more shall be located on-site in an amount which is equal to at least one-third (1/3) of the hard surfaces proposed with the project. The one-third (1/3) amount may be reduced by the use of a snowmelt system, or for good cause demonstrated. Where snow storage areas cannot be provided on-site because of existing buildings or approved building design, an adequate snow hauling plan shall be submitted for and subject to approval by the Planning and Zoning Commission. The Commission may impose such restrictions on snow removal operations as are necessary to reduce the effects of noise or traffic on surrounding areas. Applicant proposes snow storage areas along both sides of the new driveway. Applicant will be responsible for keeping the City's Easement area clear of snow.*

8) *Visual impact of on-site parking, service, trash and loading areas shall be minimized, whenever possible, by locating these areas to the rear of the building, and providing screening with landscaping or fences from adjacent properties and public ways. Applicant proposes to store the trash container in the garage and pull it out for collection.*

9) *Accessory Dwelling Units, Multi-Family and Townhouses. Adequate enclosed on-site storage for trash shall be provided for each unit. N/A*

10) *All utilities shall be installed underground in accordance with the City standards and in a manner and location approved by the City engineer. Utilities are underground in the backyard of the property.*

11) Building and parking areas shall be designed to provide proper ingress and egress; safe, adequate and efficient pedestrian and vehicular traffic circulation; and shall provide for the efficient and safe arrangement of on-site parking, building location, and circulation. **The main parking for the ADU will be in the new 2 car garage, as well as the driveway located on Cedar Street.**

12) Multi-family and Townhouses shall provide a minimum of two (2) on-site parking spaces shall be provided for each unit. Accessory Dwelling Unit parking requirements shall be one (1) parking space for a one bedroom ADU and two (2) parking spaces for ADU's with two to three bedrooms.  
**N/A**

13) Adequate unobstructed access for emergency vehicles, snow plows, garbage trucks and similar service vehicles to all necessary locations within the proposed project shall be provided. **Unobstructed access is provided from Cedar Street, 5<sup>th</sup> Street as well as the Alley.**

### **19.53 Architecture**

**A. MULTI-FAMILY AND TOWNHOUSES.** Multi-family and townhouses shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and location of the site. Multi-family and Townhouse design, style, scale, and esthetics shall blend with its neighborhood. There shall be no repetitive side by side development of buildings. The City is looking for individual buildings by varying types and styles to make for a pleasant streetscape experience. **N/A**

### **19.54 Landscaping - Parking - Lighting**

Exterior light fixtures and signs shall be non-glaring in design and installation so as not to adversely affect adjacent properties and public ways. **Applicant provided cut sheets for proposed lighting. Any exterior lighting that exists on the building that does not meet the Dark Sky ordinance shall be retrofitted out so the lighting conforms to the code.**

1) The design of fences, walls and retaining walls shall harmonize with the site and buildings in scale as well as in materials. **N/A**

2) Preservation of significant natural features such as water, view, topography, and vegetation shall be incorporated in the landscape plan. **N/A**

3) Site conditions, drought tolerance and local hardiness shall be considered to select appropriate plant species, including grasses for lawn areas. **Applicant proposes new landscaping and sod in the back yard of the property as required.**

4) Landscaping shall provide a substantial buffer between incompatible land uses and shall be used to screen from view and to mitigate visual impact of parking areas, loading areas, and garbage containers from adjacent properties and public ways. **The applicant proposes to continue the existing Cedar fence to create a buffer.**



5) *Installation of adequate drip or other low consumption irrigation systems shall be required. Landscaping shall be properly irrigated and maintained, and landscaping, or any portion thereof, shall be replaced when it dies or is otherwise destroyed. An underground irrigation system is already in place on the property.*

6) *Adequate drainage shall be provided on-site. The applicant has adequate drainage on the property.*

7) *A minimum of 10 percent of the parking area of parking lots with 20 spaces or more shall be landscaped with islands, dividers, or a combination of the two. Parking lots with 20 spaces or more will have a minimum of 50% of the required landscaped area installed adjacent to Main Street HWY 75 unless otherwise approved by the Commission due to extensive curb cuts and vision safety concerns. N/A*

9) *All public right-of-ways adjacent to subject property including alleys shall be improved with but not limited to asphalt / concrete / compacted gravel, applicable curbing, gutter, drainage, ADA standards, lighting, sidewalks and striping as recommended by the Public Works Director. N/A*

**19.55 Curbs, Gutters, Sidewalks and Street Tree Requirements.** *Within the Business (B), Limited Business/Residential (LB/R), Light Industrial Business (LIB) and the Light Industrial (LI) Zoning Districts, curbs, gutters, sidewalks and street trees are required and shall be installed along the street frontage of each lot or parcel of real property upon which a new building is constructed or a major addition (defined as requiring a building permit and having a cost of construction exceeding \$50,000.00). Such improvements shall be constructed in accordance with the applicable construction standard and ordinances of Bellevue. N/A*

#### IV. DECISION AND POSSIBLE CONDITIONS:

► **Motion:** I move to approve, approve with conditions (or) deny this design review application on behalf of Sam Simpson and Brandi Jameson, finding the application complies (or) does not comply with the applicable criteria set forth under Chapter 19, Design Review Standards and Criteria, subject to the following conditions:

1. All Fire Department, Building Department and City requirements per Zoning Ordinance 86-03 shall be met.
2. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. At this time, this infrastructure includes, but will not be limited to the following:
  - a. Verify Utility locations
3. Applicable water and sewer fees shall be assessed per adopted ordinances/resolutions.







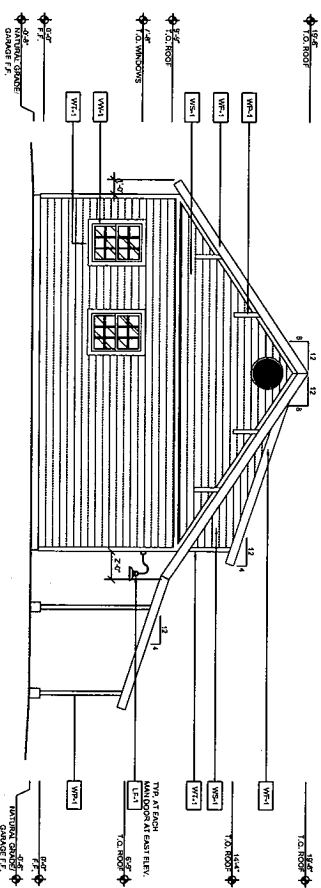
NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	WOOD SHINGLES	1000	SQ. FT.	1.50	1500.00
2	WOOD TRIM	100	LINEAL FT.	1.00	100.00
3	WOOD POSTS	10	NO.	10.00	100.00
4	WOOD RAFTERS	10	NO.	10.00	100.00
5	WOOD BRACES	10	NO.	10.00	100.00
6	WOOD JOISTS	10	NO.	10.00	100.00
7	WOOD FLOORING	100	SQ. FT.	1.00	100.00
8	WOOD CEILING	100	SQ. FT.	1.00	100.00
9	WOOD WALLS	100	SQ. FT.	1.00	100.00
10	WOOD ROOFING	100	SQ. FT.	1.00	100.00
11	WOOD TRIM	100	LINEAL FT.	1.00	100.00
12	WOOD POSTS	10	NO.	10.00	100.00
13	WOOD RAFTERS	10	NO.	10.00	100.00
14	WOOD BRACES	10	NO.	10.00	100.00
15	WOOD JOISTS	10	NO.	10.00	100.00
16	WOOD FLOORING	100	SQ. FT.	1.00	100.00
17	WOOD CEILING	100	SQ. FT.	1.00	100.00
18	WOOD WALLS	100	SQ. FT.	1.00	100.00
19	WOOD ROOFING	100	SQ. FT.	1.00	100.00
20	WOOD TRIM	100	LINEAL FT.	1.00	100.00
21	WOOD POSTS	10	NO.	10.00	100.00
22	WOOD RAFTERS	10	NO.	10.00	100.00
23	WOOD BRACES	10	NO.	10.00	100.00
24	WOOD JOISTS	10	NO.	10.00	100.00
25	WOOD FLOORING	100	SQ. FT.	1.00	100.00
26	WOOD CEILING	100	SQ. FT.	1.00	100.00
27	WOOD WALLS	100	SQ. FT.	1.00	100.00
28	WOOD ROOFING	100	SQ. FT.	1.00	100.00
29	WOOD TRIM	100	LINEAL FT.	1.00	100.00
30	WOOD POSTS	10	NO.	10.00	100.00
31	WOOD RAFTERS	10	NO.	10.00	100.00
32	WOOD BRACES	10	NO.	10.00	100.00
33	WOOD JOISTS	10	NO.	10.00	100.00
34	WOOD FLOORING	100	SQ. FT.	1.00	100.00
35	WOOD CEILING	100	SQ. FT.	1.00	100.00
36	WOOD WALLS	100	SQ. FT.	1.00	100.00
37	WOOD ROOFING	100	SQ. FT.	1.00	100.00
38	WOOD TRIM	100	LINEAL FT.	1.00	100.00
39	WOOD POSTS	10	NO.	10.00	100.00
40	WOOD RAFTERS	10	NO.	10.00	100.00
41	WOOD BRACES	10	NO.	10.00	100.00
42	WOOD JOISTS	10	NO.	10.00	100.00
43	WOOD FLOORING	100	SQ. FT.	1.00	100.00
44	WOOD CEILING	100	SQ. FT.	1.00	100.00
45	WOOD WALLS	100	SQ. FT.	1.00	100.00
46	WOOD ROOFING	100	SQ. FT.	1.00	100.00
47	WOOD TRIM	100	LINEAL FT.	1.00	100.00
48	WOOD POSTS	10	NO.	10.00	100.00
49	WOOD RAFTERS	10	NO.	10.00	100.00
50	WOOD BRACES	10	NO.	10.00	100.00

### MATERIAL SCHEDULE

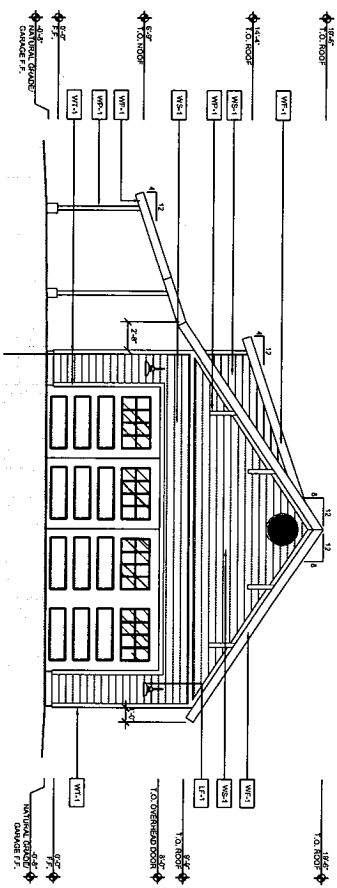
W-1	WOOD SHINGLES	MADE IN U.S.A.
W-2	WOOD TRIM	MADE IN U.S.A.
W-3	WOOD POSTS	MADE IN U.S.A.
W-4	WOOD RAFTERS	MADE IN U.S.A.
W-5	WOOD BRACES	MADE IN U.S.A.
W-6	WOOD JOISTS	MADE IN U.S.A.
W-7	WOOD FLOORING	MADE IN U.S.A.
W-8	WOOD CEILING	MADE IN U.S.A.
W-9	WOOD WALLS	MADE IN U.S.A.
W-10	WOOD ROOFING	MADE IN U.S.A.
W-11	WOOD TRIM	MADE IN U.S.A.
W-12	WOOD POSTS	MADE IN U.S.A.
W-13	WOOD RAFTERS	MADE IN U.S.A.
W-14	WOOD BRACES	MADE IN U.S.A.
W-15	WOOD JOISTS	MADE IN U.S.A.
W-16	WOOD FLOORING	MADE IN U.S.A.
W-17	WOOD CEILING	MADE IN U.S.A.
W-18	WOOD WALLS	MADE IN U.S.A.
W-19	WOOD ROOFING	MADE IN U.S.A.
W-20	WOOD TRIM	MADE IN U.S.A.
W-21	WOOD POSTS	MADE IN U.S.A.
W-22	WOOD RAFTERS	MADE IN U.S.A.
W-23	WOOD BRACES	MADE IN U.S.A.
W-24	WOOD JOISTS	MADE IN U.S.A.
W-25	WOOD FLOORING	MADE IN U.S.A.
W-26	WOOD CEILING	MADE IN U.S.A.
W-27	WOOD WALLS	MADE IN U.S.A.
W-28	WOOD ROOFING	MADE IN U.S.A.
W-29	WOOD TRIM	MADE IN U.S.A.
W-30	WOOD POSTS	MADE IN U.S.A.
W-31	WOOD RAFTERS	MADE IN U.S.A.
W-32	WOOD BRACES	MADE IN U.S.A.
W-33	WOOD JOISTS	MADE IN U.S.A.
W-34	WOOD FLOORING	MADE IN U.S.A.
W-35	WOOD CEILING	MADE IN U.S.A.
W-36	WOOD WALLS	MADE IN U.S.A.
W-37	WOOD ROOFING	MADE IN U.S.A.
W-38	WOOD TRIM	MADE IN U.S.A.
W-39	WOOD POSTS	MADE IN U.S.A.
W-40	WOOD RAFTERS	MADE IN U.S.A.
W-41	WOOD BRACES	MADE IN U.S.A.
W-42	WOOD JOISTS	MADE IN U.S.A.
W-43	WOOD FLOORING	MADE IN U.S.A.
W-44	WOOD CEILING	MADE IN U.S.A.
W-45	WOOD WALLS	MADE IN U.S.A.
W-46	WOOD ROOFING	MADE IN U.S.A.
W-47	WOOD TRIM	MADE IN U.S.A.
W-48	WOOD POSTS	MADE IN U.S.A.
W-49	WOOD RAFTERS	MADE IN U.S.A.
W-50	WOOD BRACES	MADE IN U.S.A.

### GENERAL NOTES

1. CONCRETE FOUNDATION TO BE PERFORMED BY LOCAL CONTRACTOR.
2. ALL UTILITIES SHOWN TO BE IN PLACE. VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
3. FINISH FLOOR AND MATERIALS TO BE IDENTIFIED FOR REFERENCE TO THE ARCHITECT'S SPECIFICATIONS.
4. PROVIDER SHALL VERIFY FOUNDATION AND INSURE FOUNDATION.



PROPOSED ADU SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED ADU NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

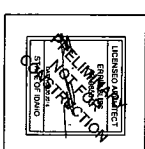
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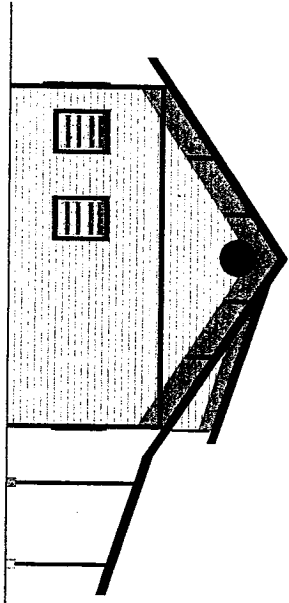
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**SIMPSON ACCESSORY DWELLING UNIT**  
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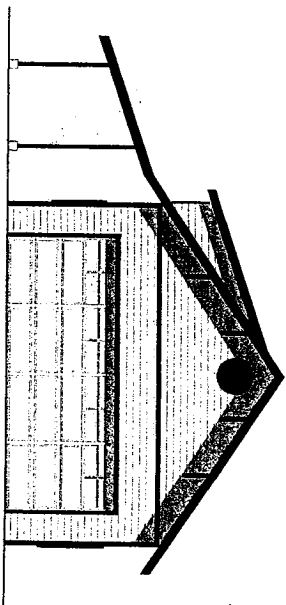
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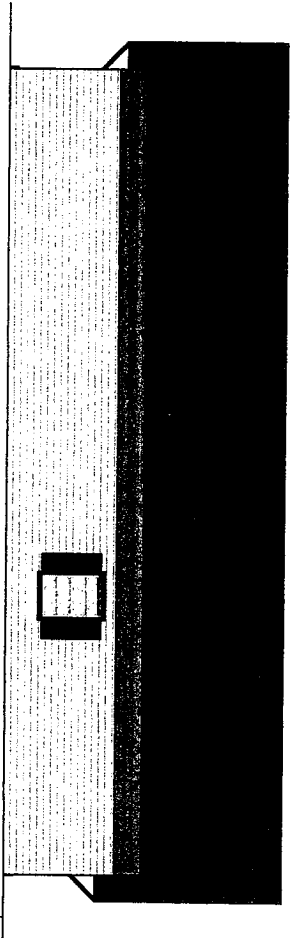




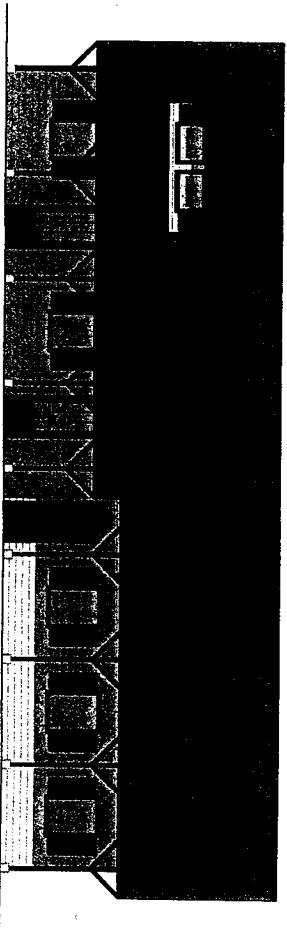
CONCEPTUAL SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



CONCEPTUAL NORTH ELEVATION  
SCALE 1/8" = 1'-0"



CONCEPTUAL WEST ELEVATION  
SCALE 1/8" = 1'-0"



CONCEPTUAL EAST ELEVATION  
SCALE 1/8" = 1'-0"

# BLISS ARCHITECTURE

SIMPSON ACCESSORIES FINELINE INT. 110 COSTA ST. COSTA CA 95014 TEL: (415) 353-0040 FAX: (415) 353-0041

# OLDAGE INTERCHANGEABLE BARN LIGHT

## WALL INSTALLATION INSTRUCTIONS

### WARNING

Installation of lights and electrical work may present a possible shock or fire hazard if improperly installed or used. All electrical work should be performed in accordance with all federal, state and local safety regulations and require proper grounding. All work should be performed by a certified electrician. Before starting installation, turn OFF electricity at the main fuse or circuit breaker that controls the power to the fixture/room you are working on.

**Note** Shade purchase does not include gooseneck arm.

#### **STEP 1: UNPACKING THE LIGHT:**

1. Carefully remove the light fixture from the packaging.

#### **STEP 2: PREPARING WIRING:**

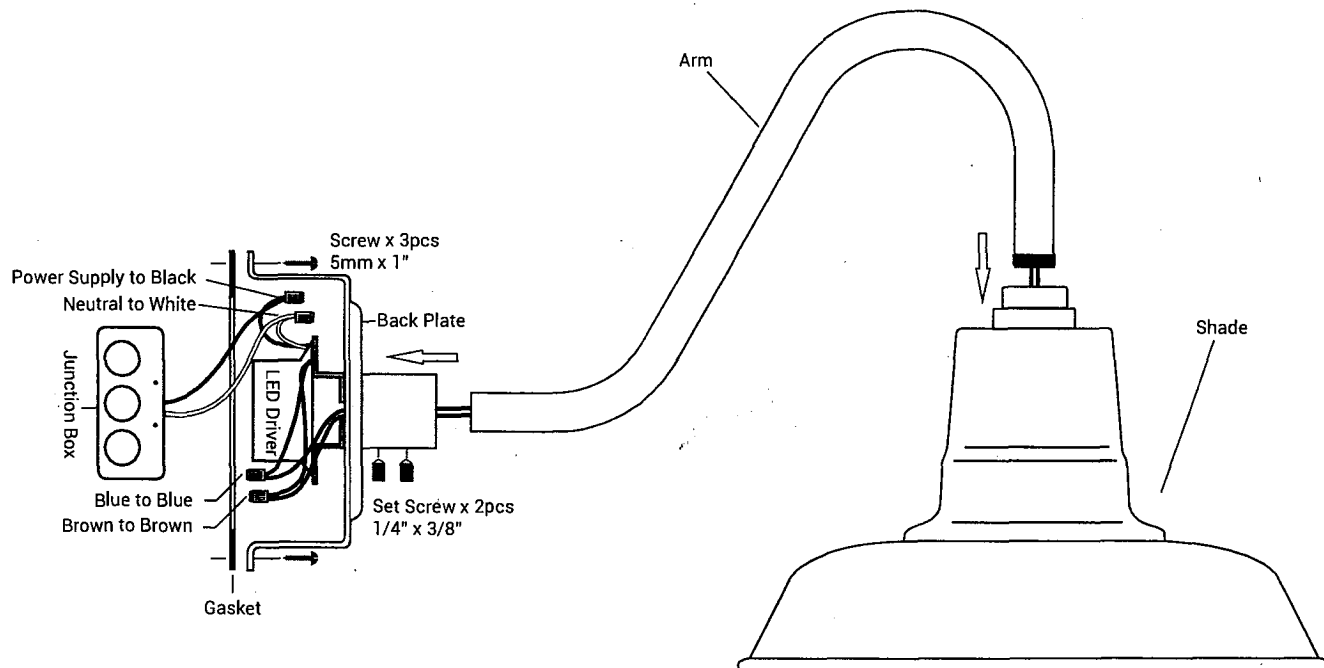
2. Feed the wiring from the shade through arm and back plate.
3. Remove excess wiring and restrip ends, keeping approximately 4 inches out from the base.
4. Fasten the Gooseneck Arm firmly into the shade. (Teflon tape is recommended for outdoor installation)
5. Attach Arm to Back Plate with two (2) set screws (1/4" x 3/8") using a 1/8" allen wrench.

#### **STEP 3: WIRING INSTRUCTIONS:**

6. Use wire nuts to connect the brown LED driver wire to the brown LED wire from the shade, and the blue LED driver wire to the blue LED wire from the shade. (output wires).
7. Use wire nuts to connect the power supply to the black wire and the neutral wire to the white wire (input wires).

#### **STEP 4: INSTALL BACK PLATE:**

8. Attach Back Plate and Gasket to the wall and secure the Back Plate with three (3) screws (5mm x 1").



**Note** Gooseneck installation is rated for indoor or outdoor use.

# OLDAGE INTERCHANGEABLE BARN LIGHT

## CEILING INSTALLATION INSTRUCTIONS

### WARNING

Installation of lights and electrical work may present a possible shock or fire hazard if improperly installed or used. All electrical work should be performed in accordance with all federal, state and local safety regulations and require proper grounding. All work should be performed by a certified electrician. Before starting installation, turn OFF electricity at the main fuse or circuit breaker that controls the power to the fixture/room you are working on.

#### **STEP 1: UNPACKING THE LIGHT:**

1. Carefully remove the light fixture from the packaging.

#### **STEP 2: PREPARING WIRING:**

2. Feed the wiring from the shade through the front opening of the back plate.
3. Tie a support knot inside the base plate at the desired shade height.
4. Remove excess wiring and strip both ends of the wire, keeping approximately 4 inches out from the base.

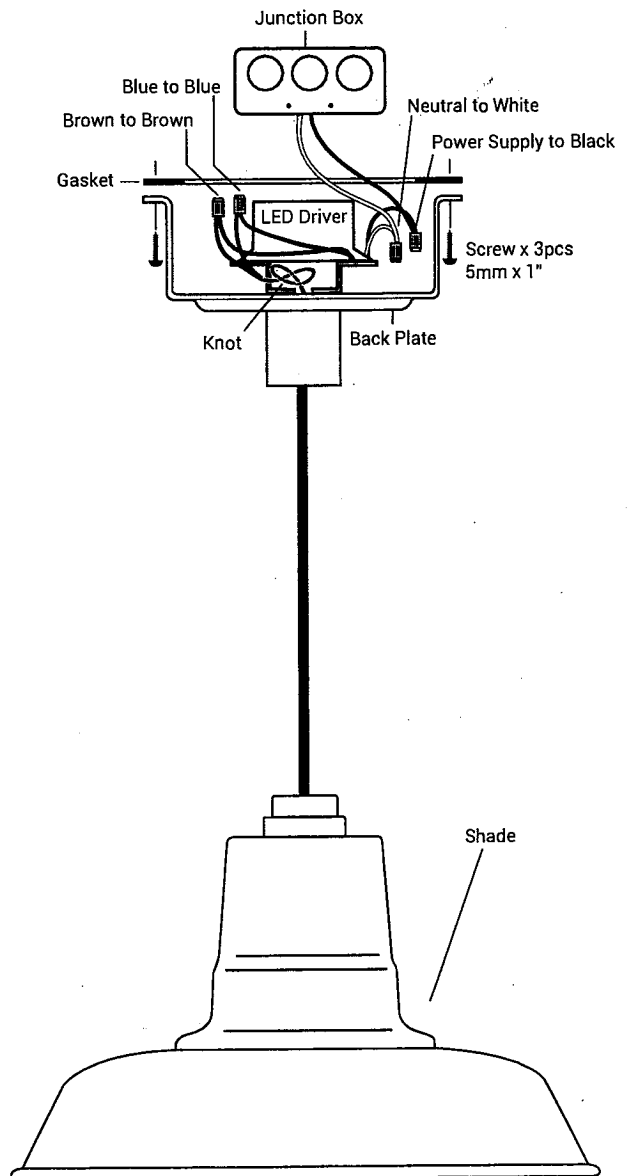
#### **STEP 3: WIRING INSTRUCTIONS:**

5. Use wire nuts to connect the brown LED driver wire to the brown LED wire from the shade, and the blue LED driver wire to the blue LED wire from the shade. (output wires).
6. Use wire nuts to connect the power supply to the black wire and the neutral wire to the white wire (input wires).

#### **STEP 4: INSTALL BACK PLATE:**

7. Attach Back Plate and Gasket to the ceiling and secure the Back Plate with three (3) screws (5mm x 1") and anchors.

**Note** To avoid damage, make sure lamp is securely installed to a solid surface using the included anchors.



**Note** Ceiling installation is rated for indoor use only.



OLDAGE 12" SHADE

