

**BELLEVUE PLANNING AND ZONING COMMISSION  
MEETING NOTICE and AGENDA  
MONDAY OCTOBER 1<sup>ST</sup>, 2018 at 6:00 P.M.**

**6:00            CALL TO ORDER**

- **NOTICE AND HEARING COMPLIANCE:**
- Posting and Hearing Notice are compliant with notice procedures per Idaho Code 67-6509

The notice and agenda were posted in the Bellevue Post Office and on the bulletin board of City Hall on September 26, 2018.

**OLD BUSINESS**

- Approval of Minutes from September 17, 2018

**NEW BUSINESS**

- **ACTION ITEM** – Staff Report for Design Review, New Construction, Brad Baker-Baklen and Girls, located at 1371 S. Main Street, Southern Belle Business Park.
- Availability for meeting of October 15, 2018.

**ADJOURN**

**CITY OF BELLEVUE**  
**PLANNING AND ZONING COMMISSION**  
Public Meeting on October 1, 2018 at 6:00 p.m.

**REGARDING AN APPLICATION OF:**

Brad Baker of Baklen and Girls for Design Review approval for new construction of a building. The property is located at 1371 S. Main Street within the Light Industrial, Southern Belle Business Park.

**STAFF REPORT**

By: Ashley Dyer, Community Development Assistant  
Date: September 20, 2018

**REQUESTED ACTION:** Design Review approval for the new construction of a new building to house Blaken and Girls. The first floor will consist of a 2,150 shop, two small storage bays and a restroom. The second floor will consist of a light storage area. The property is zoned Light Industrial, and located at 1371 S. Main Street; the legal description is LOT 4 BLK 2, Southern Belle Business Park.

**APPLICABLE ZONING REGULATIONS:**

Chapter 19 -19.2(c) and 19.5, Design Standards and Criteria

**Summary**

Brad Baker of Baklen and Girls has applied for Design Review approval for the new construction of a 2,960 square foot building on Main Street. Brad owns and operates an existing roofing business located next door. His business is growing and he needs space for his sheet metal and metal siding business, which is proposed for the new building. The first floor of the building will consist of the shop, storage bays and a restroom. The second floor is proposed for light storage of small tools and sheet metal accessories. Adjacent properties are zoned light industrial; the applicant owns the property to the South, Pro Roofing, and the building to the North is View point Incorporated.

**\*NOTE: for purposes of clarification, Staff response is in bold.**

Chapter 7 of the Bellevue Zoning Code sets forth permitted, conditional and accessory uses in the Light Industrial District.

**I.GENERAL BACKGROUND**

1. Notice of this hearing was:
  - i. Posted on the door of Bellevue City Hall and the Bellevue Post Office on September 26, 2018
  - ii. Made available on the City website on September 26, 2018.

2. Any disclosures (i.e. conflicts of interest, site visits or *ex parte* communications)?
3. Attached to this report are the following exhibits:

**Exhibit A – Application Materials**

All application materials were received on September 17, 2018, unless indicated otherwise.

**A-1:** Design Review Application

**A-2:** Narrative, site plan and design specifications

**Exhibit B – Department Head Comments**

**Engineering issues:**

None at this time. It should be noted that the size of the water and sewer lines will be evaluated to insure they're the appropriate sizes to accommodate proper flows.

**Life/Safety issues:**

The Fire Chief has not had an opportunity to review the plans. Chief will review the building permit plans when submitted to insure compliance with all local, State and Federal fire codes.

**Water and Sewer issues:**

See Public Works Memorandum, attached.

**Building issues:**

Certified engineered plans shall be submitted with a complete building permit and fees. The application shall comply with adopted fire codes and building codes.

**Exhibit C – Public comments**

**C-1:**

<b>II. DESIGN REVIEW STANDARDS AND CRITERIA §19.5</b>
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**19.51 Criteria and Standards –** The following list of design review criteria shall be met by each applicant seeking design review approval. The Planning and Zoning Commission shall use said criteria to determine whether a project is to be approved or denied. A building which is allowed by right in zoning Ordinance No. 86-03 may be reduced in bulk, height or other physical dimension by requirement of the Commission only if found necessary to protect the public health, safety and/or welfare. If a development project is to be built in phases, each phase shall be subject to the design standards and criteria described in this Section and each phase independently shall meet said criteria and standards. **The Light Industrial District is established to provide lands for light industrial uses that can be designed to operate compatibly in close proximity to adjoining business and residential uses. The applicant proposes a 2,960 square**

foot new building. The first floor consists of two storage areas, a 2,150 square foot shop, and a single bathroom. The upper floor consists of a light storage area.

### **19.52 Site Planning**

1) Buildings shall be situated in a manner that preserves existing land forms, trees and other significant vegetation and shall not interrupt waterways or change other natural drainage patterns in a manner which adversely affects adjacent property. Removal of existing trees greater than 6" caliper is subject to review. **The subject property is virtually flat.**

2) Buildings shall be cited so that their form does not break prominent natural ridge lines. **The proposed building is located on flat ground and far from any ridgelines.**

3) *Buildings and parking areas shall be clustered to provide the more usable open space. All accesses from alleys shall require improvements installed by the applicant/owner when applicable including but not limited to an asphalt surface or compacted grave surface as determined by the Bellevue Public Works Department. Applicant/owner shall be responsible for relocation of applicable city services/utilities, repair of any damaged city services, snow plowing and snow removal owners. The building is located adjacent to the front sidewalk. Applicant is proposing ten (10) parking spaces total; Five (5) parking spaces are proposed in the front of the new building and five (5) parking spaces in the rear of the building. One ADA space in the rear of the building is proposed.*

4) *The alignment of roads and driveways shall follow the contours of the site, and cuts and fills shall be minimized. The subject property is flat.*

5) *Retaining walls shall be discouraged and such walls over three (3) feet high shall be stepped to form a number of benches to be landscaped. No retaining walls are proposed at this time.*

6) *Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy-conserving lighting of low intensity. Wall-mounted, down-cast fixtures are proposed at the entrance and exterior of the new building. Applicant provided cut sheets. Any exterior lighting that exists on the building that does not meet the Dark Sky ordinance shall be retrofitted out so the lighting conforms to the code.*

7) *Snow Storage Plan. A snow storage plan, as a component of the site plan, is required. The plan shall comply with the following requirements; use of sidewalks and required parking areas for snow storage is prohibited. Snow storage within 100 feet of stream banks is prohibited. Use of landscaped areas for snow storage may be allowed under the approved snow storage plan. Snow storage areas shall be incorporated in site design as well as designs that anticipate snow shedding areas. Snow storage areas shall not adversely affect neighboring properties. Building*

*design shall prevent water from dripping or snow from sliding on pedestrian areas, entrances of buildings, garages and adjacent properties. Snow storage areas for parking lots containing (20) twenty spaces or more shall be located on-site in an amount which is equal to at least one-third (1/3) of the hard surfaces proposed with the project. The one-third (1/3) amount may be reduced by the use of a snowmelt system, or for good cause demonstrated. Where snow storage areas cannot be provided on-site because of existing buildings or approved building design, an adequate snow hauling plan shall be submitted for and subject to approval by the Planning and Zoning Commission. The Commission may impose such restrictions on snow removal operations as are necessary to reduce the effects of noise or traffic on surrounding areas. Existing Southern Belle snow removal for this lot is removed to each end of the block in front and in the back.*

*8) Visual impact of on-site parking service, trash and loading areas shall be minimized, whenever possible, by locating these areas to the rear of the building and providing screening with landscaping or fences from adjacent properties and public ways. The on-site parking service and trash areas are located at the rear of the building. The dumpster shall be housed in an existing enclosure.*

*9) Accessory Dwelling Units, Multi-Family and Townhouses. Adequate enclosed on-site storage for trash shall be provided for each unit. N/A*

*10) All utilities shall be installed underground in accordance with the City standards and in a manner and location approved by the City engineer. The utilities are underground.*

*11) Building and parking areas shall be designed to provide proper ingress and egress; safe, adequate and efficient pedestrian and vehicular traffic circulation; and shall provide for the efficient and safe arraignment of on-site parking, building location, and circulation. Applicant is proposing ten (10) parking spaces total; Five (5) parking spaces are proposed in the front of the new building and five (5) parking spaces in the rear of the building. One ADA space in the rear of the building is proposed. Proper ingress and egress will occur from Hwy 75 as well as Clover and Honeysuckle Streets.*

*12) Multi-family and Townhouses shall provide a minimum of two (2) on-site parking spaces shall be provided for each unit. Accessory Dwelling Unit parking requirements shall be one (1) parking space for a one-bedroom ADU and two (2) parking spaces for ADU's with two to three bedrooms. No ADU is being proposed.*

*13) Adequate unobstructed access for emergency vehicles, snow plows, garbage trucks and similar service vehicles to all necessary locations within the proposed project shall be provided. Emergency vehicles, snow plows, garbage trucks, etc. can be accommodated along Main Street, as well as Clover and Honeysuckle Streets.*

### **19.53 Architecture**

1) *Building and shopfront design and construction shall reflect historical architecture styles and shall incorporate building materials, architectural design and features representative of that historical period in Bellevue, Idaho between 1880 and 1910. That architectural style includes frame and brick construction, frame and shiplap siding construction, horizontal log construction, and similar westward expansion motifs. Also, building design and construction shall presence and incorporate any such existing structures and features, signage, exterior fixtures and other items from that period. **The proposed building design incorporates a two-story, natural smooth split face, brick siding and face.***

2) *A building exceeding 8,500 square feet of building coverage shall incorporate a change in façade design, materials, color and/or height, or a combination thereof that such building appears to be more than one building. These changes shall occur at a minimum of every fifty (50) feet of wall façade visible by the general public and at the ceiling line of the first floor on two (2) story buildings. In addition, the faced shall change in depth a minimum of two (2) feet at each such change in façade. **The additional areas do not exceed 8,500 square feet; therefore, this standard does not apply.***

3) *All buildings in the (B) Business District shall have a minimum set back from wall / foundation to property line adjacent to Main Street / Hwy 75 of (3) three feet, providing an area for covered seating, planters, special event advertising units and displays of merchandise, in addition to the specified requirements of Section 19.53 (2). **N/A***

4) *All exterior mechanical equipment shall be screened on all sides with materials and colors matching the approved structure. **N/A***

5) *Mechanical equipment and solar panels shall be hidden or de-emphasized. **N/A***

6) *Metal siding shall not be permitted on buildings on parcels of real property abutting Main Street (State Highway 75) unless deemed appropriate by the Planning and Zoning Commission. All such buildings shall be constructed of or faced with materials that are similar in textures, finish, and appearance to natural materials. The use of natural materials such as wood, brick and stone shall be encouraged and exterior wall colors shall be of natural earth tones. **The proposed siding is natural smooth split brick.***

7) *Exterior lighting systems shall not create glare nor cast light on neighboring properties. Night lighting shall be only what is needed to promote safe use, preferably with energy-conserving lighting of low intensity. **Wall-mounted, down-cast fixtures are proposed at the entrance and exterior of the new building. Applicant provided cut sheets. Any exterior lighting that exists on the building that does not meet the Dark Sky ordinance shall be retrofitted out so the lighting conforms to the code.***

8) Accessory Dwelling Unit sizes shall comply with Chapter 2 of ordinance 86-03, Section 2.1A.  
**No ADU is being proposed.**

**B. A. MULTI-FAMILY AND TOWNHOUSES.** Multi-family and townhouses shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and location of the site. Multi-family and Townhouse design, style, scale, and esthetics shall blend with its neighborhood. There shall be no repetitive side by side development of buildings. The City is looking for individual buildings by varying types and styles to make for a pleasant streetscape experience. **N/A**

**B. ACCESORY DWELLING UNITS (ADU).** ADU's shall maintain traditional rural, small town development patterns and architectural styles in keeping with the existing character of the area and emulate the primary structure of the site. Design, style, scale, and esthetics shall blend with its neighborhood. Building materials and exterior architectural; design shall be reflective of existing structures on the subject site and take into consideration the architectural style and materials of the general vicinity. **N/A**

**19.54 Landscaping – Parking – Lighting**

1) Exterior light fixtures and signs shall be non-glaring in design and installation so as not to adversely affect adjacent properties and public ways 2) The design of fences, walls and retaining walls shall harmonize with the site and buildings in scale as well as in materials. **Wall-mounted, down-cast fixtures are proposed on the entrance and exterior of the building. Applicant provided cut sheets. Any exterior lighting that exists on the building that does not meet the Dark Sky ordinance shall be retrofitted out so the lighting conforms to the code.**

2) The design of fences, walls and retaining walls shall harmonize with the site and buildings in scale as well as in materials. **No fences, walls or retaining walls are proposed.**

3) Preservation of significant natural features such as water, view, topography, and vegetation shall be incorporated in the landscape plan. **N/A**

4) Site conditions, drought tolerance and local hardiness shall be considered to select appropriate plant species, including grasses for lawn areas. **The Applicant proposes to keep the existing landscaping on the Hwy 75 berm.**

5) Landscaping shall provide a substantial buffer between incompatible land uses and shall be used to screen from view and to mitigate visual impact of parking areas, loading areas, and garbage containers from adjacent properties and public ways. **The property is not located adjacent to incompatible land uses. The dumpster enclosure is located at the rear of the property in an enclosure.**

6) Installation of adequate drip or other low consumption irrigation systems shall be required. Landscaping shall be properly irrigated and maintained, and landscaping, or any portion thereof, shall be replaced when it dies or is otherwise destroyed. **No automatic drip irrigation system is proposed.**

7) Adequate drainage shall be provided on-site. **The two adjacent buildings have existing drainage that will be matched.**

8) A minimum of 10 percent of the parking area of parking lots with 20 spaces or more shall be landscaped with islands, dividers, or a combination of the two. Parking lots with 20 spaces or more will have a minimum of 50% of the required landscaped area installed adjacent to Main Street HWY 75 unless otherwise approved by the Commission due to extensive curb cuts and vision safety concerns. **N/A**

9) All public right-of-way's adjacent to subject property including alleys shall be improved with but not limited to asphalt / concrete / compacted gravel, applicable curbing, gutter, drainage, ADA standards, lighting, sidewalks and striping as recommended by the Public Works Director. **The Main Street right-of-way is fully improved with sidewalk, curb and gutter and paved road.**

**19.55 Curbs, Gutters, Sidewalks and Street Tree Requirements** Within the Business (B), Limited Business/Residential (LB/R), Light Industrial Business (LIB) and the Light Industrial (LI) Zoning Districts, curbs, gutters, sidewalks, and street trees are required and shall be installed along the street frontage of each lot or parcel of real property upon which a new building is constructed or a major addition (defined as requiring a building permit and having a cost of construction exceeding \$50,000). Such improvements shall be constructed in accordance with the applicable construction standard and ordinances of Bellevue. **Main Street right-of-way has been fully improved with sidewalk, curb and gutter.**

#### IV. DECISION AND POSSIBLE CONDITIONS:

≥ **Motion:** I move to approve, approve with conditions (or) deny this design review application by Brad Baker, Baklen Girls, finding the application complies (or) does not comply with the applicable criteria set forth under Chapter 19, Design Review Standards and Criteria, subject to the following conditions:

1. **All Fire Department, Building Department and City requirements per Zoning Ordinance 86-03 shall be met.**
2. **Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. At this time, this infrastructure includes, but will not be limited to the following:**

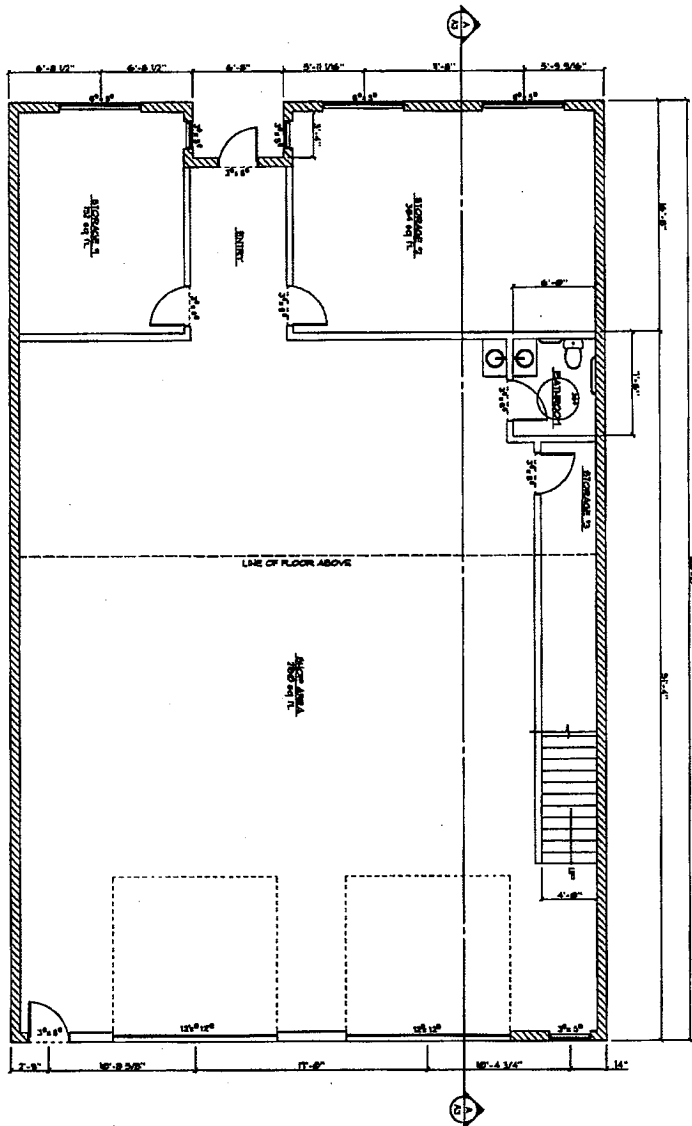


**a. Verify Utility locations**

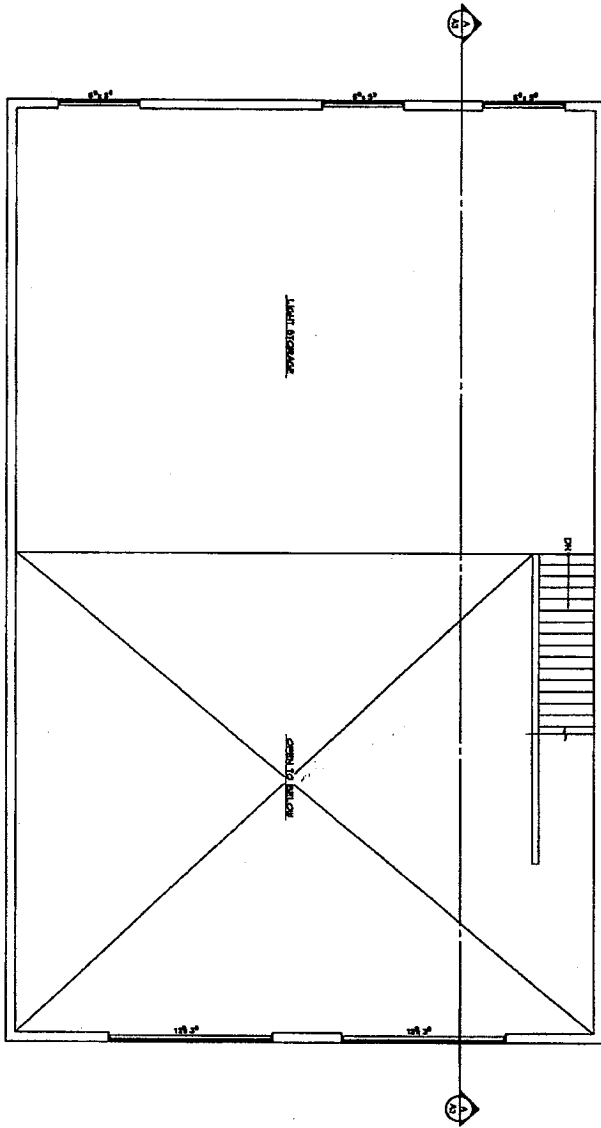
**3. Applicable water and sewer fees shall be assessed per adopted ordinances/resolutions.**



1st FLOOR PLAN  
SCALE: 1/8" = 1'-0"

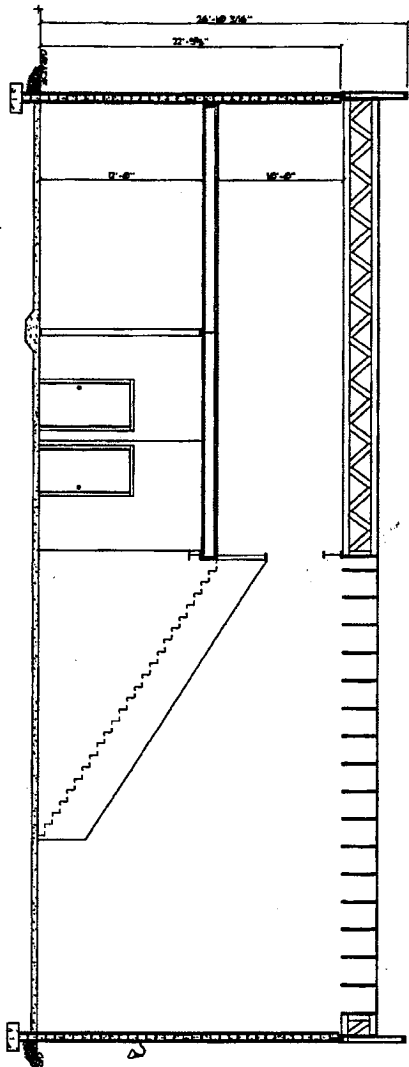


A1	1st FLOOR FINISHING PLAN	<b>BAKER SHOP</b>		BLAINE COUNTY, IDAHO
		PROJECT # 1817		
		DATE: 10/1/87		
		DRAWN BY: J. W. BAKER		
		CHECKED BY: J. W. BAKER		
		APPROVED BY: J. W. BAKER		
		PROJECT: BAKER SHOP		
		ADDRESS: 1001 1st St		
		CITY: BLAINE, IDAHO		
		COUNTY: BLAINE COUNTY, IDAHO		
		STATE: IDAHO		
		DATE: 10/1/87		

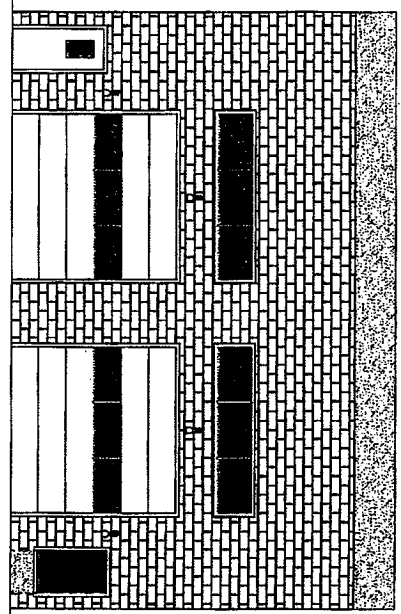


2nd FLOOR PLAN  
SCALE: 1/8" = 1'-0"

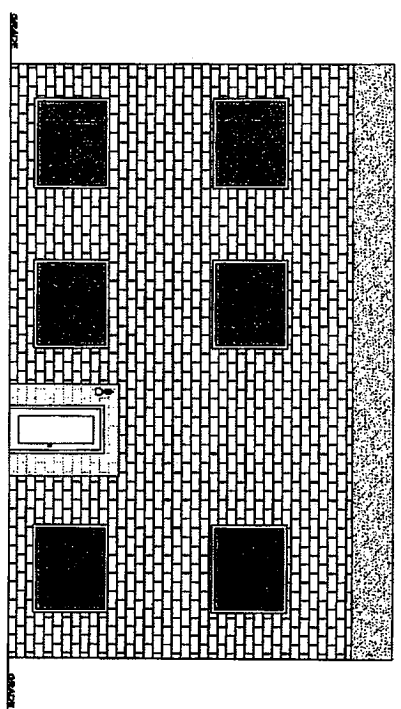
<b>BAKER SHOP</b>		BLAINE COUNTY, IDAHO
PROJECT # 1017		
DATE/REV		
APPROVED BY: M.L.S.		
PROGRESS SET		
SHEET #		
2nd FLOOR PLAN		
A2		



SECTION  
SCALE 1/8" = 1'-0"



ELEVATION  
SCALE 1/8" = 1'-0"



ELEVATION  
SCALE 1/8" = 1'-0"

<b>BAKER SHOP</b>		BLAINE COUNTY, IDAHO
PROJECT # 1017		
DATE		
DRAWN BY		
CHECKED BY		
APPROVED BY		
SEE PROJECT SET		
ELEVATION/SECTION		
SHEET		
<b>A3</b>		

**FOUNDATION NOTES**

- 1. THE FOUNDATION SHALL BE DESIGNED TO THE BEST OF THE ENGINEER'S KNOWLEDGE AND BELIEF, AND SHALL BE BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.
- 2. FOUNDATIONS SHALL BE CONSTRUCTED TO CONFORM WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT AND ALL APPLICABLE CODES AND REGULATIONS.
- 3. FOUNDATIONS SHALL BE CONSTRUCTED TO CONFORM WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT AND ALL APPLICABLE CODES AND REGULATIONS.

**GENERAL NOTES AND STRUCTURAL SPECIFICATIONS**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

2. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AVAILABLE AND SHALL BE SUBJECT TO INSPECTION AND TESTING BY THE ENGINEER.

3. ALL REINFORCEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT AND ALL APPLICABLE CODES AND REGULATIONS.

4. ALL FOUNDATIONS SHALL BE CONSTRUCTED TO CONFORM WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT AND ALL APPLICABLE CODES AND REGULATIONS.

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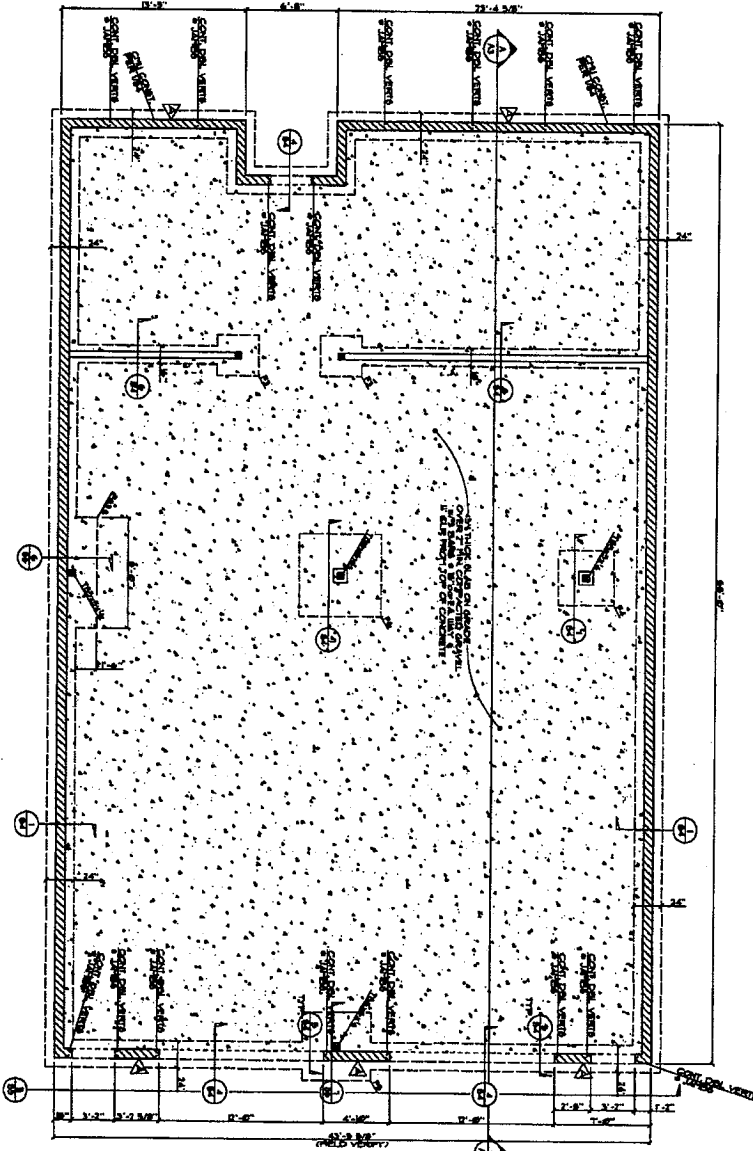
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FOOTING SCHEDULE		
TYPE	SIZE	REINFORCEMENT AT 3" CLEAR BOTTOM
F1	3'-0" x 3'-0" x 3'-0"	#4 @ 12" EA WAY EQ SPACED
F2	4'-0" x 4'-0" x 4'-0"	#4 @ 12" EA WAY EQ SPACED
F3	5'-0" x 5'-0" x 5'-0"	#4 @ 12" EA WAY EQ SPACED
F4	6'-0" x 6'-0" x 6'-0"	#4 @ 12" EA WAY EQ SPACED
F5	8'-0" x 8'-0" x 8'-0"	#4 @ 12" EA WAY EQ SPACED

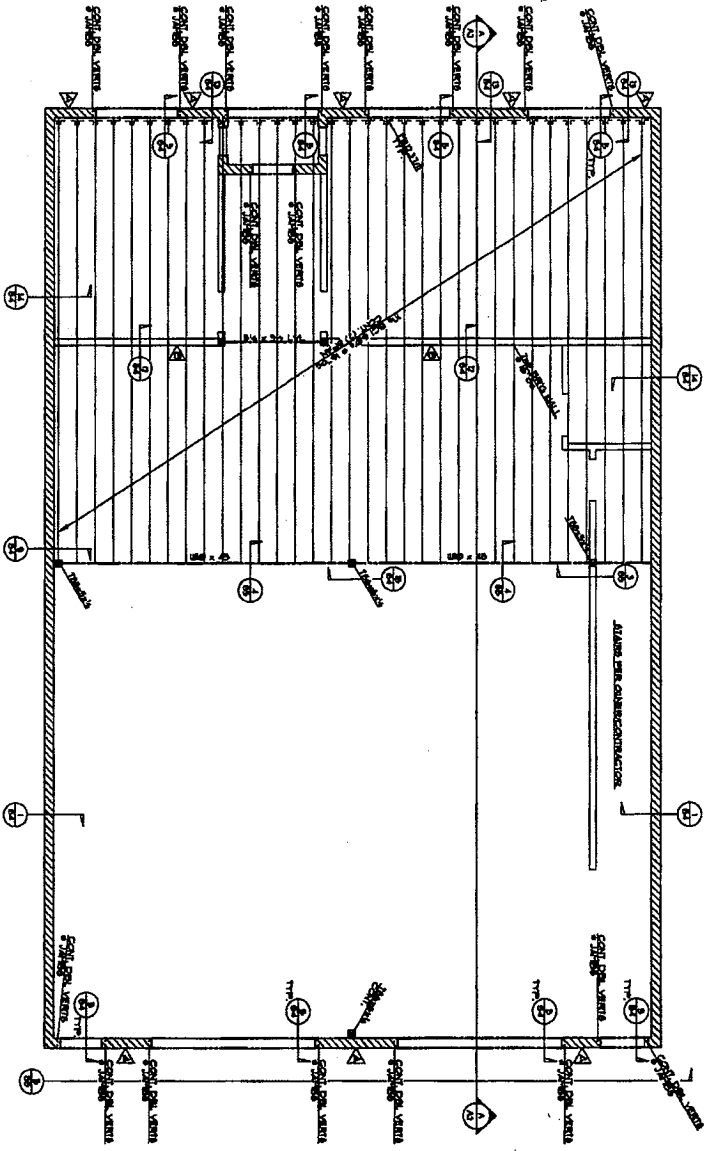
**FOUNDATION PLAN**

<p><b>BAKER SHOP</b></p> <p>BLAINE COUNTY, IDAHO</p> <p> </p>	<p>PROJECT # 100</p> <p>DATE: 10/1/2010</p> <p>DESIGNER: K. STOBLER</p> <p>CHECKER: S. S. BOAL</p> <p>PERMIT: SRT</p>	

**FRAMING NOTES**

THE DRAWING SHALL BE CONSIDERED AS A GUIDE TO THE GENERAL CONSTRUCTION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETAILED DESIGN OF THE FRAMING SYSTEM TO BE USED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS.

SHEARWALL SCHEDULE	
SYMBOL	DESCRIPTION
▽	8" SOLID CONCRETE CMU SHEARWALL WITH REINFORCEMENT PER PLAN
▽	8" SOLID CONCRETE CMU SHEARWALL WITH REINFORCEMENT PER PLAN



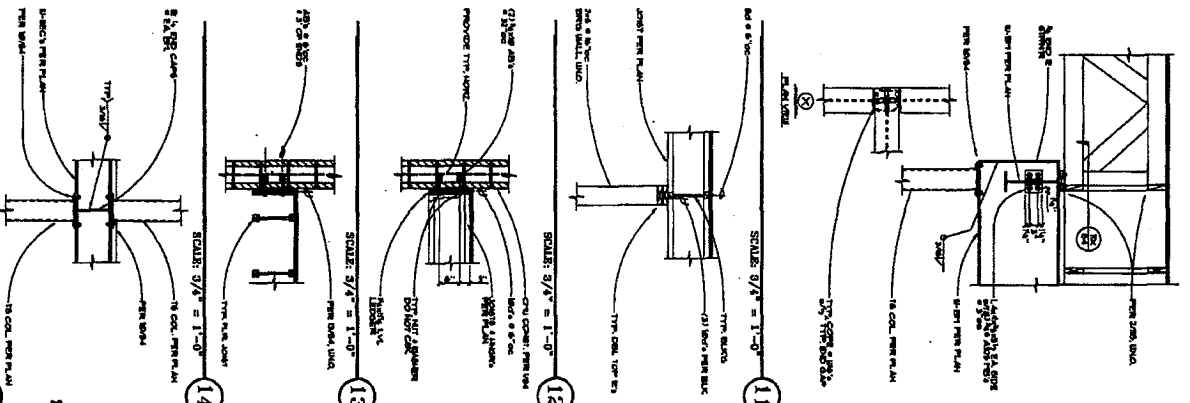
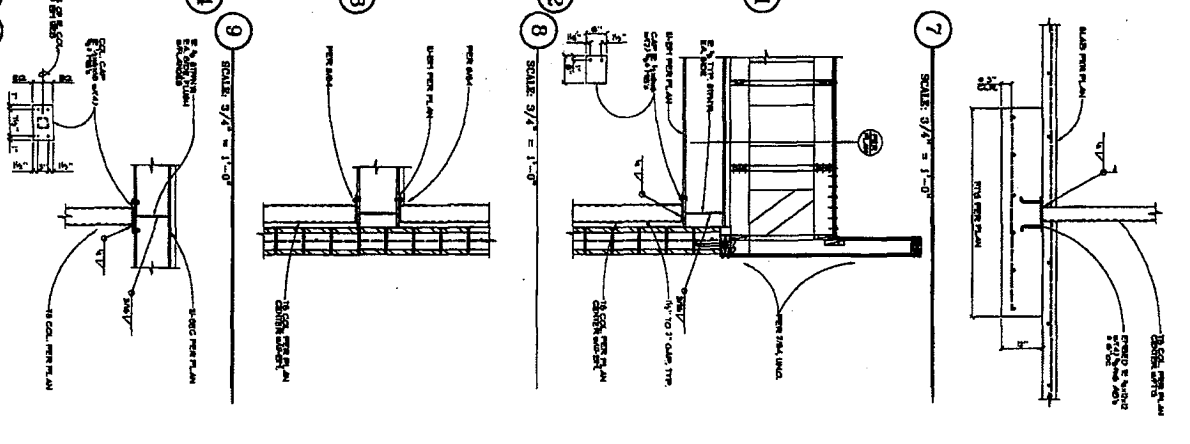
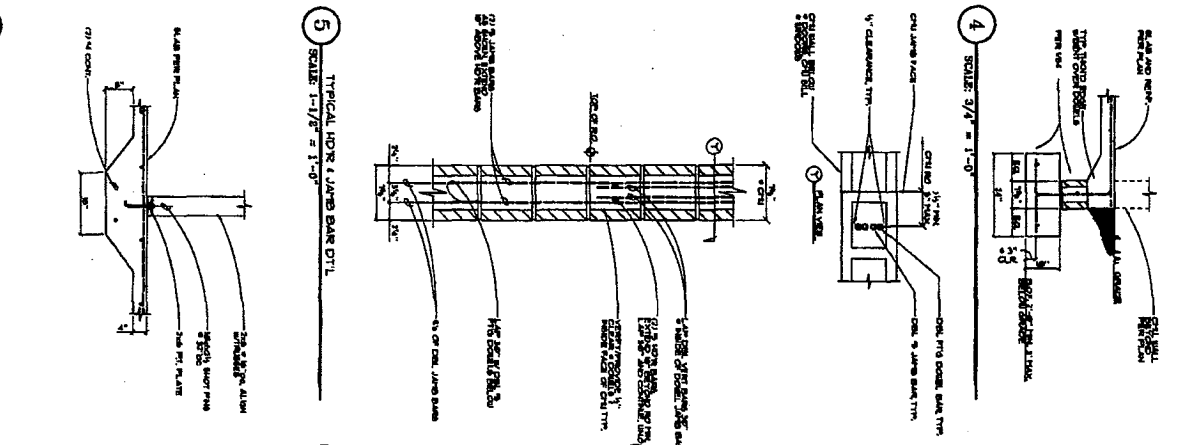
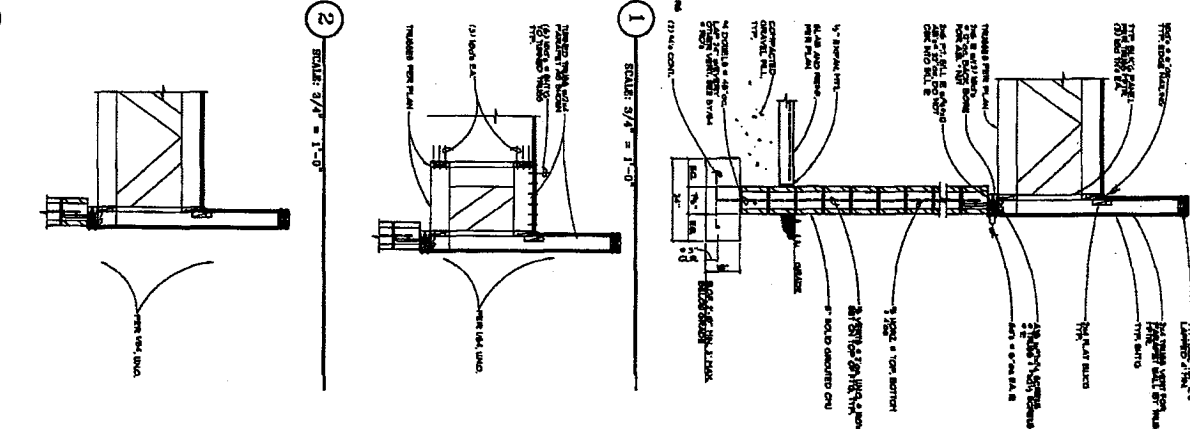
**2nd FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

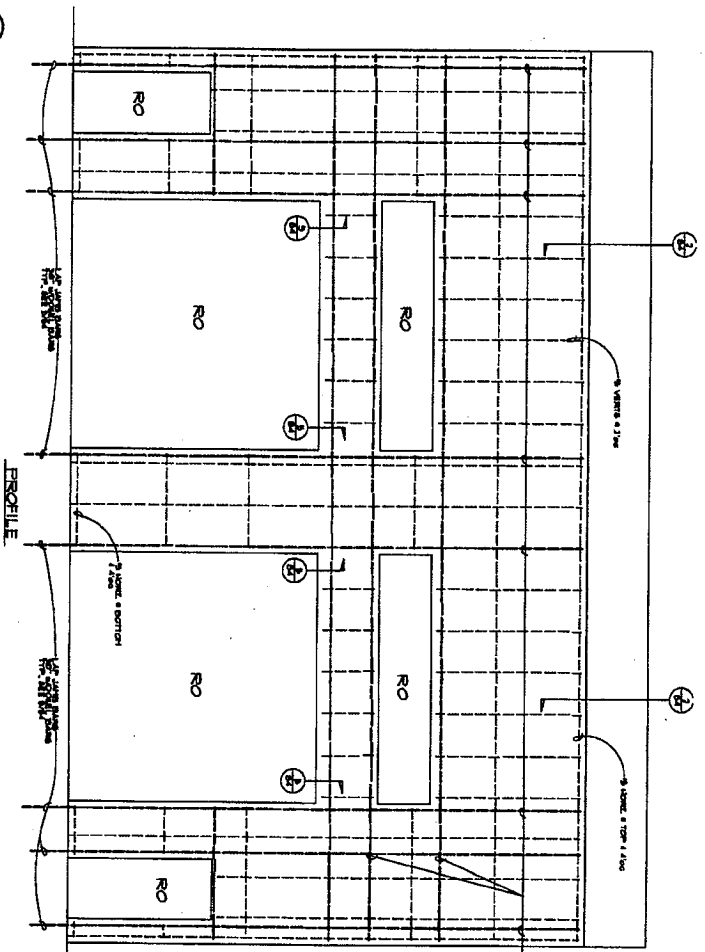
<b>BAKER SHOP</b>	BLAINE COUNTY, IDAHO		
PROJECT # 1001	SHEARWALL SCHEDULE	612 S. Main, Blaine, Idaho, 83416 208-338-4411	
PERMIT SET	2nd FLOOR FRAMING PLAN	S2	



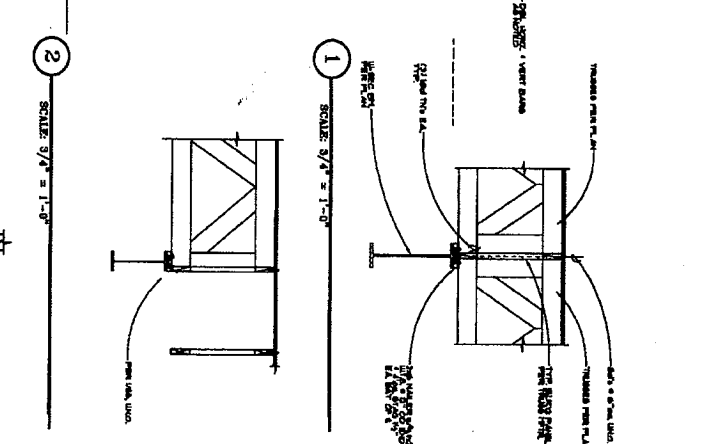


S4	STRUCTURAL DETAILS	PROJECT # 1880	<b>BAKER SHOP</b>	BLAINE COUNTY, IDAHO
	DATE: _____	DRAWN BY: _____	CHECKED BY: _____	APPROVED BY: _____
	SCALE: _____	SHEET NO. _____	TOTAL SHEETS _____	PERMIT SET
				



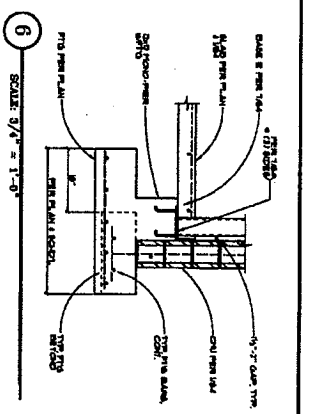


5 SCALE: 3/4" = 1'-0"

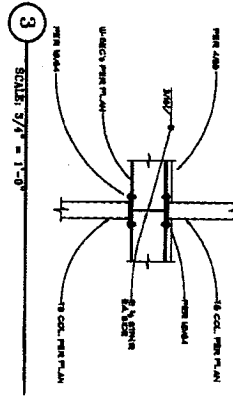


1 SCALE: 3/4" = 1'-0"

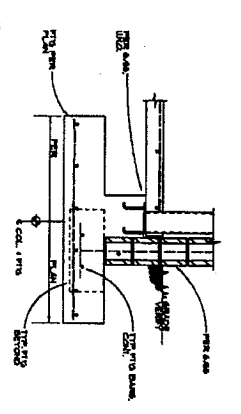
2 SCALE: 3/4" = 1'-0"



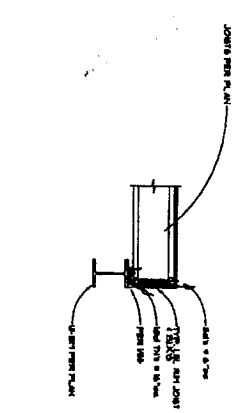
6 SCALE: 3/4" = 1'-0"



3 SCALE: 3/4" = 1'-0"

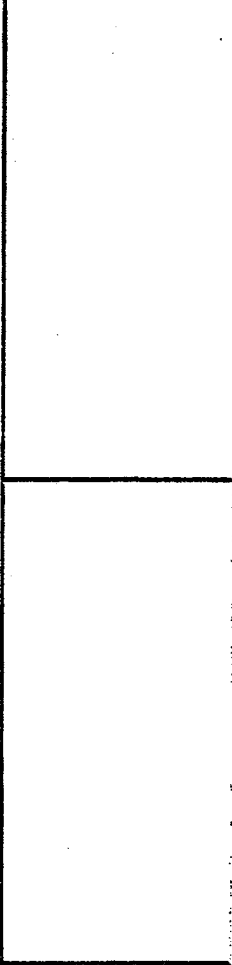


7 SCALE: 3/4" = 1'-0"



4 SCALE: 3/4" = 1'-0"

<b>SS</b>	STRUCTURAL DETAILS	PROJECT # 140	<b>BAKER SHOP</b>	BLAINE COUNTY, IDAHO	 <b>Konrad Stohler</b> Structural Engineering, Inc. <small>1700 N. 2nd St., Ste. 200 • Boise, Idaho 83725</small>
		DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____ PERMIT SET			



What are you shopping for?

q

Shop All Departments [Bathroom](#) [Kitchen](#) [Lighting](#) [Fans](#) [Hardware](#) [Appliances](#) [Decor](#) [Outdoor](#) [HVAC](#) [Flooring](#) [Commercial](#) [Clearance](#)

Fall Kitchen Sale - Save up to 70%

Build.com Credit Card

FREE Standard Ground Shipping on Orders over \$49



# Millennium Lighting RWHS17- RGN15

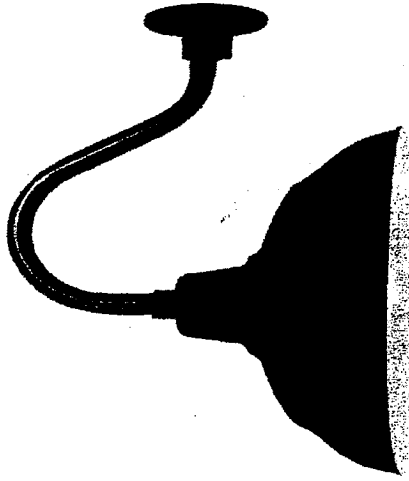
\$68.10

4 Reviews

1118 in Stock

Leaves the Warehouse in 1 to 3 business days (Change Zip)

[View More Product Info](#)



Finish: Architectural Bronze

QTY:    [Add to Cart](#)

[Add to Project](#)

